

**CITY OF WICHITA BOARD OF ZONING APPEALS**

**AGENDA**

**Thursday, May 19, 2016**

**1:30 p.m.**

The regular meeting of the City of Wichita Board of Zoning Appeals will be held on **Thursday, May 19, 2016**, in the Planning Department Conference Room, 10<sup>th</sup> Floor, Wichita City Hall, 455 North Main, Wichita, Kansas **no earlier than 1:30 p.m.**

1. **Minutes** – April 7, 2016
2. **BZA2016-00018** - City variance request to increase the height, square footage and the number of signs allowed on GO General Office zoned property located on the northeast side of Hillside and Central Avenues.

# CITY OF WICHITA BOARD OF ZONING APPEALS

## MINUTES

April 7, 2016

The regular meeting of the City of Wichita Board of Zoning Appeals was held on Thursday, April 7, 2016 at 1:50 p.m., in the Planning Department Conference Room, 10<sup>th</sup> floor, City Hall, 455 North Main, Wichita, Kansas. The following members were present: David Dennis, Chair; David Foster; Matt Goolsby; John McKay Jr.; Bill Ramsey and Lowell Richardson. Members absent were: Debra Miller Stevens. Staff members present were: Dale Miller, Director; Derrick Slocum, Secretary; Mike Papoon, Assistant City Attorney; and Maryann Crockett, Recording Secretary

1. Approval of the December 17, 2015 BZA Minutes.

**MOTION:** To approve the December 15, 2015 City of Wichita Board of Zoning Appeals minutes.

**RAMSEY** moved, **GOOLSBY** seconded the motion, and it carried (6-0).

2. **BZA2016-00010** - City BZA Variance to permit a home occupation within an accessory structure in SF-5 Single-family zoning on property described as:

Lot 13, Block 13, Bonnie Brae Addition, Wichita, Sedgwick County, Kansas.

**JURISDICTION:** The Board has jurisdiction to consider the variance request under the provisions outlined in Section 2.12.590.B, Code of the City of Wichita. The Board may grant the request when all five conditions, as required by State Statutes, are found to exist.

**BACKGROUND:** The applicant is requesting a variance to allow the manufacturing of cabinets, furniture (woodworking) within the accessory structure on his property, which is zoned SF-5 Single-family Residential. The subject site is located east of South Rock Road and north of East Kellogg (249 S. Bonnie Brae St.) Currently, the Unified Zoning Code (UZC) allows manufacturing as a home occupation within accessory structures in RR Rural Residential and SF-20 Single-family residential zoning. However, manufacturing and the home occupation in an accessory structure is not allowed in the SF-5 zone district (Sec.IV-E.4b&c.)

The subject site is developed with a single-family residence and a 1,120 square foot accessory structure. The accessory structure where the property's owner conducts his manufacturing operation is 15-feet from the neighboring residential structure to the north. The property is surrounded by a 6-foot privacy fence and there is a gravel driveway, off of the main paved driveway, that leads to the garage door of the accessory structure. The applicant does not have any plans to change the appearance or add any other structures to the subject site. The lots in this neighborhood are fairly large and fall just below 20,000 square feet, which is the minimum lot size for SF-20 zoning. There are actually many properties that lie just outside of the city limits that are

zoned SF-20 that fall under 20,000 square feet. The difference is those zoned RR and SF-20 would be allowed the operation in the accessory structure, while this similar sized SF-5 zoned property does not.

All property surrounding the subject site is zoned SF-5 and are developed with single-family residences. East Kellogg is approximately 900 feet south of the subject site.

**ADJACENT ZONING AND LAND USE:**

NORTH:	SF-5	Single-family residence
SOUTH:	SF-5	Single-family residence
EAST:	SF-5	Single-family residence
WEST:	SF-5	Single-family residence

*The five criteria necessary for approval as they apply to the requested variance.*

**UNIQUENESS:** It is staff's opinion that this property is unique, inasmuch as the site is already developed with a single-family residence and a large accessory structure. The subject site is approximately 18,000 square feet, which makes it large enough to support the home occupation within the accessory structure and larger than a majority of single-family residential properties within the City limits. The applicant constructed his accessory structure in 2012 in order to use the space for his furniture building and woodworking.

**ADJACENT PROPERTY:** It is staff's opinion that granting the requested variance to allow a home occupation for manufacturing within an accessory structure would not adversely affect the rights of adjacent property owners, inasmuch that the site is well screened from adjacent properties and the operation is fully enclosed within the accessory structure.

**HARDSHIP:** It is staff's opinion that the strict application of the provisions of the code would constitute a hardship upon the applicants, inasmuch in that the economic cost to improve the property with the accessory structure and the economic loss of not being able to conduct the operation would put a strain on the property owner. Planning has been trying to be more flexible in allowing certain uses within the City and County for the advantage of the property owners and allowing uses with conditions that would be advantageous for both the surrounding properties and the property owner.

**PUBLIC INTEREST:** It is staff's opinion that the requested variance to allow a home occupation for manufacturing within an accessory structure would not adversely affect the public interest, inasmuch as this is an existing home occupational use that has been operating for around four years and just recently has been brought to the attention of code enforcement. With additional conditions, this use could continue with minimal to no impacts to surrounding properties.

**SPIRIT AND INTENT:** It is staff's opinion that granting the requested variance to allow a home occupation for manufacturing within an accessory structure does not oppose the general spirit and intent of the Zoning Code, inasmuch that the home occupation regulations allow residential

property owners the ability to utilize their property for the economic wellbeing of the property owner and community. This type of use is allowed in larger lot residential zoning and a similar sized lot as the applicants would be zoned SF-20 if it was located adjacent to the city limits.

**RECOMMENDATION:** It is staff's opinion that the requested variance of the Zoning Code to allow a home occupation for manufacturing within an accessory structure is appropriate for this site. Should the Board determine that the criteria necessary to grant a variance exists, the Secretary recommends that the variance be GRANTED, subject to the following conditions:

1. The site shall be developed in conformance with the approved site plan.
2. Outdoor storage of material and display of product is prohibited.
3. Any noise and odors should be contained within the structure and well ventilated to ensure surrounding properties are not impacted.
4. The operation would be allowed seven days a week between the hours of 8am and 8pm.
5. Material and product delivery shall not obstruct any traffic flow or be disruptive to the nearby property owners.
6. No paid employees are allowed per Sec. IV-E.4a of the Unified Zoning Code.
7. The applicant shall obtain all permits necessary to develop the site within one year of variance approval, unless such time is extended by the BZA.
8. The above conditions are subject to enforcement by any legal means available to the City of Wichita.

**DERRICK SLOCUM**, Planning Staff presented the Secretary's Report. He referred to a map of the neighborhood indicating the locations from where correspondence had been received on the application, both pro (green) and con (red).

**RICHARDSON** said there were 13 letters against; however, not that many were indicated on the map.

**SLOCUM** responded that some of the letters that were against the application were from individuals who do not live in the neighborhood such as the real estate agents.

**RICHARDSON** clarified so this is saying that all restrictions that apply to SF-5 zoning would apply except the manufacturing use or is this limited to the eight stipulations listed in the Secretary's Report which is specifically for the manufacturing of cabinets, no other type of manufacturing.

**SLOCUM** said the eight stipulations would apply to this particular manufacturing use which was cabinet making, woodworking, etc. in the accessory structure.

**RICHARDSON** referred to Item #6 which references a section of the UZC about no paid employees. He said the UZC references no one other than those "occupying the dwelling". He said that is different from what the Secretary's Reports says about "no paid employees."

**SLOCUM** said that was a mistake and the Report will need to be amended to reflect the language in the UZC.

**RICHARDSON** referenced #7 regarding the necessary permits and asked what those would be.

**SLOCUM** said the Home Occupation Permit would be issued through MABCD.

**RICHARDSON** clarified so MABCD would look at the manufacturing processes and determine what other permits were necessary. He asked if the accessory structure had all the necessary permits to be built.

**SLOCUM** said he has not heard anything about the structure itself so he assumed it did. He added that the structure is within the setbacks and easements so he assumed it received the proper building permit.

**GOOLSBY** asked if there were complaints about the operation.

**SLOCUM** commented that there must have been a complaint or the Planning Staff would not have been contacted.

**GOOLSBY** clarified so the reason the Planning Commission is hearing the case is the applicant is being forced into compliance.

**FOSTER** said this might be a question for legal but the Secretary's Report mentions Section IV-E. of the UZC. He said since this is a text change to the UZC, doesn't that require a public hearing.

**SLOCUM** explained that reference was the part of the UZC that does not allow this. He said this was a request for a variance to that part of the UZC.

**KNEBEL** explained that the variance was for the use permitted because it is not allowed in an accessory structure. He said the dimensional aspect of this request is where it occurs on the property. He said the reference to the Section of the UZC is where this is not allowed. He said this is not a change to the UZC, but a variance or waiver to that part of the UZC. He said that is what a "variance" is according to the UZC.

**SLOCUM** said it was like referencing the UZC for a variance of a setback.

**FOSTER** said this was a broader question that he feels the Commission needs to spend time on.

**CHAIR DENNIS** asked where in the Secretary's Report it says this manufacturing is limited to furniture, under which one of the conditions.

**SLOCUM** said it is referenced in the UZC.

**DIRECTOR MILLER** referenced Section IV-E, 5. of the UZC which lists home crafts such as ".....cabinet making, small appliance repair...." as permitted home occupations.

**CHAIR DENNIS** clarified so if this is approved then all those uses listed in the UZC would be permitted.

**DIRECTOR MILLER** clarified that they are permitted by right now. He explained that a home occupation is limited to the principal structure so they are asking for a variance to allow the activity in the accessory structure. He said SF-5 zoning also does not allow outside employees that don't live at the location.

**CHAIR DENNIS** asked if the Commission should limit this further than what is sited in the UZC.

**DIRECTOR MILLER** said if the Commission thinks that is appropriate. He commented that anyone else in the neighborhood could open the same type of businesses listed by right, assuming that they met all the other required standards.

**RAMSEY** asked what type of call in prompted all of this. He asked was it a noise complaint or what.

**SLOCUM** said that was a question for the applicant.

**MATTHEW SHIBLEY, 249 S. BONNIE BRAE** said he agreed with the Secretary's Report and said he is applying for anything that can be done in a connected building. He gave a brief background as to how they got to this point. He said before they purchased the home he had dialogue with a member of the Homeowners Association and expressed his intention of what he was going to do when he moved into the neighborhood. He said he was going to build an accessory garage to build limited furniture, cabinets, etc. He said manufacturing is a very broad term. He said what he does is what most handymen or carpenters do but on a more regular basis. He said lumber trucks do deliver maybe 2-3 times a week, but that was minimal compared to the trash trucks or UPS trucks that deliver in the area. He commented that when the Neighborhood Inspector came out, he was an advocate for his operation until he found out it was SF-5 zoning and then he said you can't do this in an accessory building. He said he was contacted by another City Staff member who told him he needed to cease what he was doing because he was not in compliance with the UZC. He said he was briefed on SF-5 zoning and how to apply for a variance. He said this is not a huge manufacturing plant. He said he has no 220 tools; the hand tools he uses you can just plug into the wall. He said City Staff advised him to move forward with the variance request and said that this was reasonable for what he was doing. He asked for the Planning Commission's approval and said he would appreciate it.

**RICHARDSON** asked if he used stain or spray lacquer and wasn't a paint booth required to do that.

**SHIBLEY** said he uses both stain and lacquer. He said he was unaware of any requirement for a paint booth.

**SLOCUM** said the need for a paint booth would be determined by the MABCD inspection process.

**RICHARDSON** asked the applicant if he understood that he has another process to go through which was applying for the Home Occupation Permit and everything that entails such as whether the building requires a sign, Fire Code., etc.

**RAMSEY** asked about the requirements for fire suppression.

**SLOCUM** said he can't speak on that, it would be part of the permitting process.

**CHAIR DENNIS** asked the applicant if he agreed with conditions 1-8 and if he would agree to further limit the application to manufacturing of wood working, cabinets and furniture.

**SHIBLEY** replied yes, he agreed with the conditions and added that all he does is furniture, cabinets and wood working.

**GOOLSBY** asked if the applicant pulled permits on the accessory structure.

**SHIBLEY** replied yes.

**GREG BARKER, 8236 MORNINGSIDE, BONNIE BRAE, PRESIDENT, BONNIE BRAE HOMEOWNERS ASSOCIATION** he said the seven members of that Board are unanimously opposed to this variance. He said they have an active HOA who have striven for 60 years to keep Bonnie Brae a single-family residential neighborhood. He said that is what residences bought into when they moved there. He said the applicant had prior knowledge of what the zoning was and he does not feel it is appropriate or fair that the applicant be rewarded for creating a de facto situation. He said the fact that the applicant is a nice guy, a good man and family man is not the issue. He said the law must apply to everyone and everyone must conform to the rules that apply to the rest of the neighbors. He commented that there is no hardship here. He said there are 219 other households in Bonnie Brae and each of those homeowners makes a living outside of Bonnie Brae. He concluded by stating that they don't want commercial traffic in the neighborhood and said some years ago they went to great effort to block off the through streets in the neighborhood. He concluded by stating that the City made an implicit promise to them when this area was zoned single-family residential. He requested that the City continue the promise it made to the homeowners in Bonnie Brae. It was noted that his address was not on the map.

**RICHARDSON** asked if the HOA had restrictive covenants that speak to this issue.

**BARKER** said there were covenants regarding new construction to limit it to single-family residences; however, they just recently expired. He said now they rely on the City Code and zoning enforcement. He said they looked into renewing the covenants, but found out that it would take a unanimous vote of the entire neighborhood.

**TYLER COOPER, 8026 MORNINGSIDE STREET** said he have lived in Bonnie Brae since 2009 and was on the HOA Board when the Shibley's bought their home. He said he wanted to point out that at that time, the restrictive covenants were still in force and they did prohibit any businesses in the neighborhood. He said Mr. Shibley spoke to him and several other board members through e-mail and phone calls prior to purchasing his home. He said Mr. Shibley made it clear that he wanted to build a garage because he had a hobby and made furniture for relaxation. He said he went over the covenants with him and told him that any additional buildings need to match the style and appearance of the property. He said he asked Mr. Shibley if this was a business or profession and was told that it was a hobby but sometimes some of his friends buy his furniture. He said there is a big difference in having employees and doing something for a living as opposed to something you do on weekends just for fun. He said he was told it is a hobby not a business. He said he told Mr. Shibley that the neighborhood will not allow any businesses. He said the neighborhood has a track record of opposing other businesses that have tried to open in the area. He said as a father of two children he does not know what hazards are involved with this type of scenario. He said if this is allowed, it opens the door for anyone else in the neighborhood to apply for the same type of variance. He said in his opinion, allowing this type of opportunity in an aging neighborhood where homes are getting older opens the door for people to buy homes along Rock Road and turn them into car lots. He concluded by stating that the neighbors want to preserve the neighborhood they all bought into. He said the letter from the real estate agent stated that if a business was allowed in the neighborhood it would decrease property values. He said people sent letters in opposition to this because they could not be present at the meeting. It was noted that his address was not on the map.

**BETTY NENGEBAUER, 256 BONNIE BRAE** said she lived directly across the street. She said it was difficult for her to speak and that this was not a vendetta against Mr. Shibley. She said she does not want this to affect the friendship she has with the applicant, his wife and kids. However, she said she feels she needs to speak up to protect the integrity of the neighborhood. She said it is one thing to have an office in your home. She said it does not include opening up a business in an adjacent building. She said that is the neighborhood's opposition today because it invited other people do the same thing. She said there are a couple of guys "licking their chops" if this passes. She said they desperately want to keep this neighborhood single-family residential. She mentioned the two trailers in the gravel drive at Mr. Shibley's home and the employee, or contract laborer, who comes every day from 8 a.m. -5 p.m., three days a week and part time the other two days of the week. She said in her estimation that defines an employee. She said she and her husband moved into the neighborhood 41 years ago and decided to make this their forever home so they decided to invest money and renovate the house to keep and increase the value of their property. She asked if variances are going to be allowed in their neighborhood willy-nilly or is the Planning Commission going to reject them. She asked how will the Commission justify rejecting other applicants if they have already allowed one in the neighborhood. She concluded by asking the Commission to really think about what she has said. It was noted that her address was not reflected on the map.

**RAMSEY** asked staff if there was a distinction in the UZC between employee and "contract" employee.

**DIRECTOR MILLER** said the UZC says "...no persons.....other than those occupying the subject dwelling unit as their residence."

**SLOCUM** added that some of the letters that were received didn't have addresses on them.

**BARBARA PROVINE, 227 S. LOCHINVAR** said she also owned 221 S. Lochinvar. She said she can hear the saws running so there is noise disturbance in the neighborhood from this use. She also mentioned the truck traffic and said the streets were not designed to have that sort of traffic on them. She added that it is also dangerous because people walk on the streets. She said this use takes away from the community they have. She said it is sad and does set a dangerous precedent because there are other businesses that would benefit from having a place in the neighborhood. She concluded by saying that she was also concerned about property values. It was noted that her address was not reflected on the map.

**TERESA MORA, 8219 E. PEACH TREE LANE** said she lives about two blocks away from the property under discussion. She said her home abuts commercial property so she knows what it is like to live close to a business. She said she doesn't have to worry about hazardous materials, but does on occasion have to deal with loud trash trucks. She said she wants to maintain the value of her property. She said she is also concerned about a business that uses materials that are potentially hazardous and flammable. She said placing that type of business in the very middle of a residential development is dangerous and affects the entire neighborhood. She said the neighborhood wants the Board to see that this isn't just a handful of people that are complaining, that the neighbors have genuine concerns. She asked if the Commissioners would feel comfortable if this business was right next door to their homes. How would they feel about their property values and safety? She asked the Commission to look at this request from that angle. She asked about special ventilation within paint booths like her father had to have when he had a body shop. She also asked if this property has been inspected for that and proper storage of hazardous materials. She concluded by questioning the authority of certain City Staff to advise Mr. Shibley about his business. It was noted that her address was not reflected on the map. Responding to a question from the Commission, she said many people submitted letters because they could not attend the hearing.

**JAMES H. CHILDERS, 8121 MORNINGSIDE STREET** said he has lived in the neighborhood 54 years. He said he objects to this request because he feels once a variance is given for cabinet making pretty soon it won't be long before everything along Kellogg is some sort of commercial business. He said he opposed to this. He added that his residence was not reflected on the map as being opposed to this.

**BRIAN DREVETS, 207 S. BONNIE BRAE** said he was a green dot on the map and wrote one of the letters in favor of allowing the variance. He said just like the rest of his neighbors, he wants his property values to remain high and he wants to live in a safe neighborhood. He said his experience living down the street from the Shibleys is that he has not seen increased truck traffic. He commented that one of the other neighbors who wrote a letter of support has six children, and if they were concerned about safety, he doesn't think they would have endorsed the variance. He said one thing that has been made clear is that according to the zoning, Mr. Shibley

is allowed to do this business in his home; he is just asking to be allowed to do this in the outbuilding. He mentioned property values and said he would like it if Mr. Shibley's home was next door to his because it is always neat and well taken care of, and he thinks it would increase his property values. He said he is also concerned that if this is allowed there will be more and more businesses. He said he is speaking in favor of the variance because they are handled on a case-by-case basis. He concluded by saying he doesn't see what Mr. Shibley is doing with the furniture business as destructive to his property values or the safety of the neighborhood.

**GOOLSBY** requested clarification that if the applicant operates the business within his dwelling, it is allowed by right in SF-5 zoning.

**DIRECTOR MILLER** quoted the UZC and referenced home occupations which included cabinet making specifically. He said staff interpreted that cabinet making was considered to be manufacturing.

**GOOLSBY** commented that interpretation was a little "muddy" and asked for clarification regarding an employee. He said it sounds like everyone involved would have to be living in the home.

**DIRECTOR MILLER** said that was correct.

**RICHARDSON** asked who enforced that.

**DIRECTOR MILLER** responded MABCD.

**SAM LINDEMAN, 8001 MORNINGSIDE** said he was one of the red squares on the map. He said he has lived in Bonnie Brae for 36 years and was very active in the HOA. He said this is a great neighborhood with great people. He said he has known the applicant for over thirty but this goes beyond that and is about the business. He said no one has any idea about all the hazardous materials that can be stored in that building. He said right now it is basically uncontrolled. He mentioned power tools, wood, saw dust, glues, solvents and a lot of other ingredients that could cause a fire or explosion. He said this is not in an industrial area and an explosion could be disastrous to the whole neighborhood. He also mentioned other health and environmental hazards. He said there are a lot of unanswered questions. He asked if the business was registered with the Fire Department so they would know what they were dealing with if they were called to the address. He asked if the City would be liable if they granted the variance and there was an accident. He said a denial of this application would be a win for everyone.

**MOTION:** To give the speaker another one minutes.

**GOOLSBY** moved, **FOSTER** seconded the motion, and it carried (6-0).

He said there are too many potential hazards and unanswered questions. He said the one acceptable outcome from the hearing is to deny the request. He concluded by referring people to the OSHA WEB site for more information on the potential hazards of the woodworking industry.

**CHAIR DENNIS** announced that they were about to lose the quorum and that the Commission would like to finish and make a decision on the case today.

**VIKKI STEWART, 214 S. LOCHINVAR** said she walks in the neighborhood a lot and every once in a while she can hear the noise from the buzz saws. She said she is concerned about an actual business operating in Bonnie Brae and the potential for other businesses to come into the neighborhood. She requested that the Board deny the requested variance. It was noted that her address was not on the map.

**ANN JAMBOR, 114 S. BONNIE BRAE** said she investigated the situation and spoke to a next door neighbor who said she was heartsick about the complaint and all the fighting in the neighborhood and that she had no problem with what the applicant was doing. She mentioned the gravel driveway and fence to shield the trailers. She said she knocked on the door of the detached building and chatted with the applicant about what was going on. She said the neighbor informed her that the applicant has been building furniture for 3-4 years and it has only been a problem recently. She said suddenly the noise and paint fumes have become an issue. She said she doesn't want her property values to decrease either but also believes that each situation should be handled on a case-by-case basis. She said she does not believe in the slippery slope kind of thing and believes the safety concerns can be addressed. She said what the applicant is doing doesn't seem industrial to her, it is a wood shop. She said she fully supports what the applicant is doing and hopes the requested variance passes.

**MAURICE KNEPP, 8121 MOCKINGBIRD** said he has lived in the area since July, 1995. He said he has upgraded his home to keep it modern, habitable and saleable. He said if this variance is passed, he doesn't anticipate they will be able to make money on the sale of their home. He said he tries to be objective on the values of homes in the neighborhood and he is quit passionate about it. He asked that city officials use common sense and a basic perception of decency and follow the law as it is and keep Bonnie Brae a residential neighborhood not a commercial or manufacturing area. It was noted his property was not indicated on the map.

**DAVID STARK, 8314 PEACH TREE** said his property was indicated on the map with a red dot. He said he has been a resident since 1998. He said he is retired and that Bonnie Brae is a quiet neighborhood close to shopping and medical facilities. He said he has invested several thousand dollars in his property and work hard to keep it from deteriorating. He said the neighborhood has fought to keep businesses out in the past and mentioned a beauty shop. He said they have closed off the streets at Kellogg to keep traffic out of the neighborhood. He mentioned other neighborhoods in the city deteriorating because businesses were allowed to go in. He asked the Commission to deny this request.

**JOY WOLF, 138 S. BONNIE BRAE** said she and her husband moved into the area 24 years ago. She said this has been a marvelous lifetime home and they plan on staying there. She said they have fought to keep their community safe and business free. She asked the Commission to vote against the variance. It was noted that her property was not indicated on the map.

**SUE SCHLAPP** said she is not a red or green dot on the map because she does not live in the neighborhood. She said she has worked with the Bonnie Brae neighborhood in the past and she hears and understands everything the neighbors have said. She said she cannot disagree with the issues the neighbors have mentioned; however, she said she just wished people could understand that the applicant does not just have a hobby, he is an artist. She said she wishes there was a category that would allow the applicant to continue his work in the neighborhood. She concluded by stating that the applicant does have a hardship because he has a disabled son who he needs to be home for. She said there are exceptions with this case and she wanted to express her opinion.

**JOHN KENT, 8407 PEACH TREE** said he has lived in the neighborhood 29 years and been on the HOA Board three times. He said the Board has talked about this situation several times. He said the neighbors bought their houses in a neighborhood that is free of business and is zoned residential and that is what they expect. He said the neighborhood has fought very hard over the years to keep it that way. He mentioned that someone opened up a beauty shop and they instituted a lawsuit to get that closed. He said the neighborhood is surrounded by businesses now. He said they are constantly having to deal with the issues of vacant buildings and cars being stripped down because buildings are not secured. He said they are not asking for anything special, they just want to keep their neighborhood as it was zoned. He mentioned that he was approached by someone who knew the applicant and his business asking him if they could come into the neighborhood and do the same thing. It was noted that his property was not represented on the map by a red dot.

**DAVID CREVELING, 108 BONNIE BRAE** said his property was represented on the map by a red dot. He said he has lived in the neighborhood 25 years and is very passionate about living there because it is such a wonderful place. He also mentioned that he has been on the HOA Board six times. He said the first home in the subdivision was built in 1949 and there has never been a variance since that time so it doesn't seem logical to him to start granting variances now. He said if it takes a variance to do what the applicant does, it shouldn't be happening at this location. He referred to the letters from the realtors and the negative effects this will have on property values and homes around it. He asked that the Commission deny the variance request.

**CHARLEY COOPER, 8026 E. MORNINGSIDE STREET** said his property is not represented by a red dot on the map. She clarified that this variance was for the home/property and not the business itself. She said her concern is that if the applicant decides to relocate this property will remain available for commercial space. She said she and her husband have lived in the neighborhood seven years and bought their property to be a forever home. She said they own two businesses and neither business is being operated in their home. She said they pay for other commercial and storage space for their businesses. She said they have never applied for a variance because they knew about the neighborhood. She said she does not want this variance because she and her husband want this to stay a residential community.

**JIM NELSON, 8102 MORNINGSIDE STREET** said his home is represented by one of the red dots on the map. He said he has lived in the neighborhood for 29 years. He said many of the residents have worked very hard to keep the neighborhood non-commercial. He requested that the Commission deny this zoning change.

**SHIBLEY** said bringing this back to perspective what he is doing is not a huge commercial setting. He said he doesn't sell anything out of his home. He said this is not that retail type of set up. He said it would be to his financial benefit to conform to the health standards. He asked that the Commission focus on his variance, not on what might happen in the future. He mentioned that three of the people who spoke against the variance have actually used the services of his shop. He mentioned he never charged them because they were neighbors. He said a home across the street from him sold for full price and he feels he has increased the value of his home which is probably one of the most expensive homes in the neighborhood.

**RAMSEY** asked if anyone was working in the shop other than himself, and if they lived in the home.

**SHIBLEY** said he and a contract laborer (not employee) work in the shop.

**RICHARDSON** pointed out that the conditions do not allow the applicant to have a contract employee because anyone who works in the shop has to live in the home on the property. He briefly reviewed the definition of living in the home.

**SHIBLEY** said this is the first time that has been brought to his attention and agreed that would be a potential problem.

**RICHARDSON** reviewed the provisions for home craft, manufacturing or conducting a trade. He said the provision refers to cabinet making not cabinet selling.

**SHIBLEY** asked if that was his opinion or was that what the zoning code said. He said he has always been open and never tried to hide what he was doing to support his family. He stressed that this wasn't a woodworking mill.

**RICHARDSON** said part of the issue was is what the applicant doing a craft or a trade. He asked if the applicant was doing this in an attached garage, would the Commission be having this discussion.

**DIRECTOR MILLER** said as far as that part of the ordinance no; however, the code is pretty specific that no one other than a residence of the principle structure can work there. He said a contract laborer is an outside person.

**RICHARDSON** asked if there was an appeal process.

**DIRECTOR MILLER** said the District Court.

**DIRECTOR MILLER** clarified that the variance doesn't change the zoning. He said if the variance is approved the only items that are approved is whatever the Commission decides to vary.

**CHAIR DENNIS** clarified that the variance goes with the property.

**DIRECTOR MILLER** said that is correct; however, the Commission could put time limit on it if they thought that was appropriate.

**RICHARDSON** clarified so the Commission could limit the variance to cabinet making only.

**GOOLSBY** asked since the applicant is not in compliance with current zoning, what guarantees does the Commission have that he will comply with the stipulations of the variance.

**DIRECTOR MILLER** said MABCD would investigate any complaint.

**GOOLSBY** said this was tough because he was an entrepreneur. He volunteered to make a motion to deny the variance because it was not suitable to the neighborhood.

**MOTION:** To deny the variance.

**GOOLSBY** moved, **RAMSEY** seconded the motion.

**CHAIR DENNIS** said he doesn't believe this is the right thing for the neighborhood and believes they should be listening to the neighbors who are closest to it. He said he believes the Commission should give the applicant a chance to "back out" of this because if they deny this, it will create a financial hardship for him. He suggested making modifications to the eight conditions and limit this to furniture making; eliminate that the variance goes with the property; and give the use a time limit. He suggested a three year time limit and said he knows that sounds like a long time but in his opinion, it serves both purposes which is it allows the applicant to find another location and it protects the neighborhood. He asked the Commission for discussion.

**GOOLSBY** said he was not in favor of that because he felt if the applicant had to pull a permit to build the structure, he should have known that he couldn't have a business there. He said for the sake of the neighborhood, this request needs to be "put to bed".

**RICHARDSON** clarified that the Commission can't limit the variance to just the applicant.

**DIRECTOR MILLER** confirmed that the variance can't be tied to an individual; but the Commission could put a time limit on it.

**RAMSEY** commented that he lived next door to a similar situation (they were making wooden signs) and he said it was a miserable experience. He said they would be cutting wood and painting at all hours of the day and night. He said he might be willing to give the applicant time but he feels that three years is way too long. He said he doesn't want to take away someone's living because he is an entrepreneur too and he applauds what the applicant does; however, the operation needs to be moved somewhere else.

**CHAIR DENNIS** asked if the Commission would agree to one year.

**RAMSEY** said he would agree to one year.

**FOSTER** said the Commission's focus needs to be on the land use issue, but sometimes you have to look beyond that. He said this application fails four out of the five criteria for a variance. He said sometimes the Commission has to make very difficult decisions and this is one of them. He said he would vote for the original motion.

**MCKAY** clarified that the Commission could deny the application but give the applicant 12 months to cease operation at this site. He asked if that was legal.

**DIRECTOR MILLER** said the Commission would approve the variance with a time limitation.

**FOSTER** asked what would happen if the applicant withdrew the application before the Commission takes a vote.

**DIRECTOR MILLER** indicated the application was due to a complaint to MABCD. He said once it has been determined that there is an actual violation, MABCD usually stops any enforcement action until an application has been resolved. He said the applicant can withdraw the application without prejudice and re-file after a year, but it can't be the same application. He said the only way they could refile in less than six months is if the application is different from what was originally filed.

**CHAIR DENNIS** offered a substitute motion

**SUBSTITUTE MOTION:** To approve the variance for one year; limit the variance to furniture making only; no paid employee or contract employee; that the meet the other eight conditions listed in the Secretary's Report; that no extension be granted on the time limit and that the variance does not run with the property.

**DENNIS** moved, **RICHARDSON** seconded the motion.

**GOOLSBY** commented that the Commission was trying to be fair and whenever government tries to be fair it ends up making a greater imposition so he said he cannot support the substitute motion.

The **SUBSTITUTE** motion failed (3-3). **FOSTER, GOOLSBY** and **RAMSEY**– No.

The **ORIGINAL** motion to deny carried (4-2). **DENNIS** and **MCKAY** – No.

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3. **BZA2016-00012** - City BZA Variance to permit a parking lot for West Ridge Community Church to be constructed in the street side setback on Morgantown Road on property described as:

Lots 5, 6, 7, 8, 9, 10, 11, 12, 13, 14 and 15, Block C, Country Acres Third Addition, Wichita, Sedgwick County, Kansas.

**JURISDICTION:** The Board has jurisdiction to consider the variance request under the provisions outlined in Section 2.12.590.B, Code of the City of Wichita. The Board may grant the request when all five conditions, as required by State Statutes, are found to exist.

**BACKGROUND:** The Unified Zoning Code (UZC) requires a 15-foot minimum street side setback in the SF-5 Single-family Residential zoning district. Parking is not permitted within the street side setback. Administrative Adjustment of the UZC can allow parking within the street side setback, but not within eight feet of the property line. Required setbacks are typically used for grass and required landscaping. The applicant requests a variance to permit parking within the street side setback up to the property line; see the attached site plan and letter submitted by the applicant's agent. The applicant is converting two former house lots to a parking lot in support of the West Ridge Community Church located on West 13<sup>th</sup> Street North. The applicant has an existing parking lot, similar to the proposed parking lot in this case, on the north part of the site along 13<sup>th</sup> Street and an additional lot toward the southwest part of the site, along Morgantown. The applicant desires more parking contiguous with the church site to discourage parking along the street during church services. The existing parking lots for the subject site currently have 75 parking spaces. The proposed parking lot on the subject site is designed to create a total of 150 spaces.

Property north of the subject site, across 13<sup>th</sup> Street, zoned TF-3 Two-family Residential and LC Limited Commercial, is developed with single-family residences and to the northeast, retail development. Property south of the subject is zoned SF-5 and LC and is developed with single-family residences. Property west of the site is zoned SF-5 and developed with single-family residences. Property east of the site is zoned LC and is also developed with single-family residences.

**ADJACENT ZONING AND LAND USE:**

NORTH:	TF-3 and LC	Single-family residences and Retail
SOUTH:	SF-5 and LC	Single-family residences
EAST:	LC	Single-family residences
WEST:	SF-5	Single-family residences

*The five criteria necessary for approval as they apply to the requested variance.*

**UNIQUENESS:** It is staff's opinion that this property is unique, inasmuch as the site is already developed with the church and parking lot that already is within the setback. The site has been developed as a church since 1984 and the proposed parking will match up and add to the number of spaces already on the site.

**ADJACENT PROPERTY:** It is staff's opinion that granting the requested variance to allow parking within the required street side setback up to the property line would not adversely affect the rights of adjacent property owners, inasmuch that the abutting residence south of the site will be screened from the parking lot by a six-foot tall screening fence. Proposed landscaping on the south side of the site will mitigate the parking encroachment into the setback when viewed from residences south and west of the site.

**HARDSHIP:** It is staff's opinion that the strict application of the provisions of the code would constitute a hardship upon the applicant, inasmuch that the application area can only accommodate the desired number of parking spaces if the requested variance to allow parking within the setback is granted. Strict application of the Zoning Code prohibition of parking within the setback would prevent the addition of needed parking to this site.

**PUBLIC INTEREST:** It is staff's opinion that the requested variance to allow parking within the required street side setback up to the property line will not adversely affect the public interest, inasmuch that further improving this property is in the public interest. The requested variance will allow the site to accommodate the maximum number of parking spaces possible, which will reduce demand for on-street parking in the immediate area, a benefit to the public interest in the area.

**SPIRIT AND INTENT:** It is staff's opinion that granting the requested variance to allow parking within the required street side setback up to the property line does not oppose the general spirit and intent of the Zoning Code, inasmuch that setbacks are intended to ensure separation between structures and streets and to allow for open landscaped areas. Adequate separation between the parking area and public streets will be maintained.

**RECOMMENDATION:** It is staff's opinion that the requested variance of the Zoning Code to allow parking within the required street side setback up to the property line is appropriate for this site. Should the Board determine that the criteria necessary to grant a variance exists, the Secretary recommends that the variance be GRANTED, subject to the following conditions:

1. The site shall be developed in conformance with the approved site plan.
2. Parking shall meet City Code and guidelines; parking spaces adjacent to sidewalks shall have permanent parking stops placed to prevent vehicles from encroaching onto the public sidewalk.
3. The applicant shall submit a landscape plan, to be approved by staff.
4. The setback reduction shall apply to parking on the site only. Any future buildings on this site shall conform to Zoning Code required setbacks unless a separate Administrative Adjustment or Variance is approved.
5. The applicant shall obtain all permits necessary to develop the site within one year of variance approval, unless such time is extended by the BZA.
6. The above conditions are subject to enforcement by any legal means available to the City of Wichita.

**FOSTER** commented that with his background in landscaping he is concerned that some of the varieties of plants and trees suggested in the landscape plan are not very tough such as Forest

Pansy Red Bud. He suggested that the applicant consider hardier varieties. He asked that staff pass along his comments.

**SLOCUM** indicated that he will make a note of Commissioner Foster's comments for the landscape approval plan process.

**MOTION:** To approve per the Secretary's Report.

**MCKAY** moved, **RAMSEY** seconded the motion, and it carried (6-0).

-----

The City of Wichita Board of Zoning Appeals adjourned at 3:10 p.m.

State of Kansas        )  
Sedgwick County     ) <sup>SS</sup>

I, Derrick Slocum, Secretary of the City of Wichita Board of Zoning Appeals do hereby certify that the foregoing copy of the minutes of the meeting of the City of Wichita Board of Zoning Appeals, held on \_\_\_\_\_, is a true and correct copy of the minutes officially approved by such Board.

Given under my hand and official seal this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Derrick Slocum, Secretary  
City of Wichita Board of Zoning Appeals

**SECRETARY'S REPORT**

CASE NUMBER: BZA2016-00018

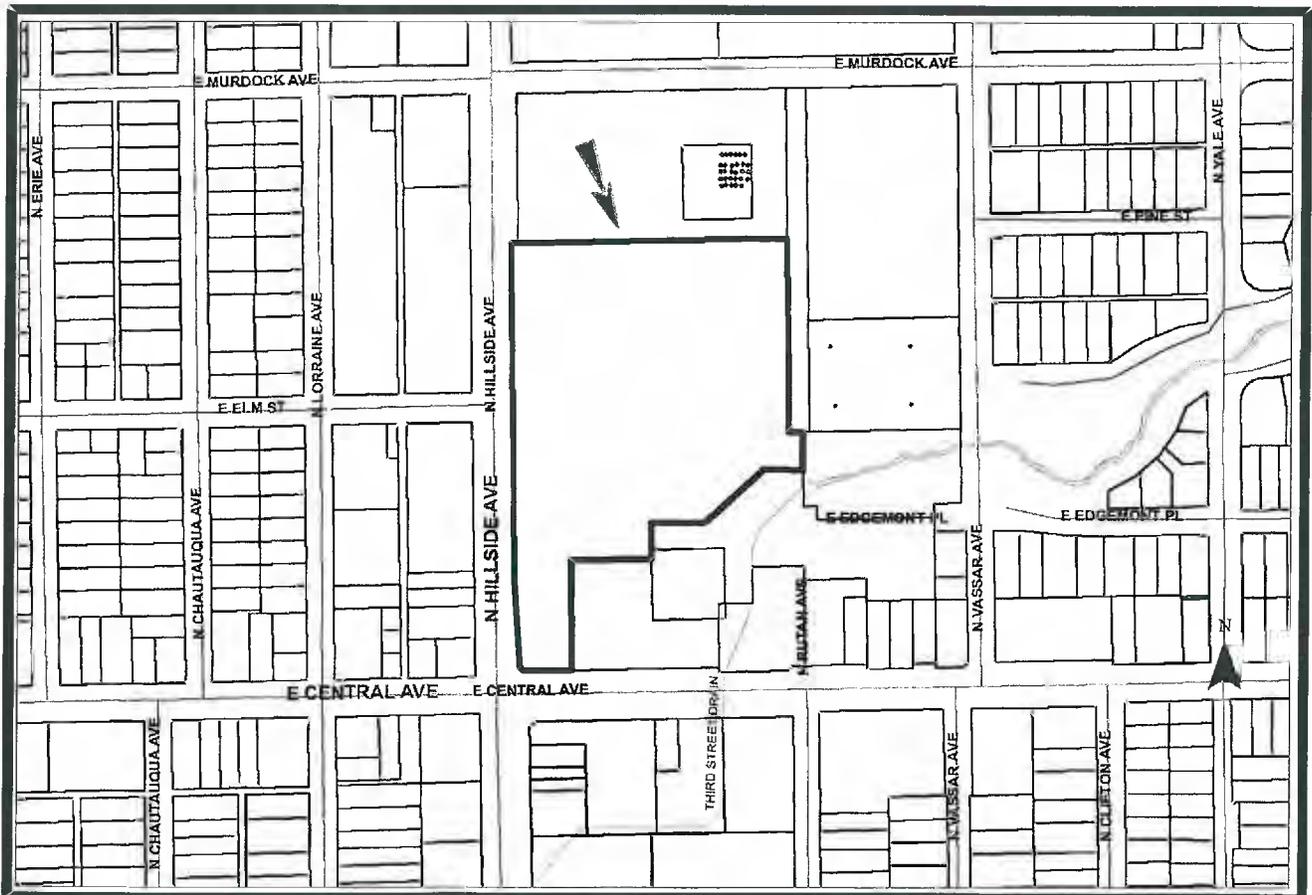
APPLICANT/AGENT: City of Wichita (Owner)  
Canam Signs & Imaging, c/o David Bodzy (Applicant/Agent)  
Affordable Sign and LED (Applicant)

REQUEST: City Sign Code variance request to increase the height, square footage and the number of signs allowed for Wesley Medical Center.

CURRENT ZONING: GO General Office ("GO")

SITE SIZE: 9.5 acres

LOCATION: Generally located northeast of the intersection of North Hillside Avenue and East Central Avenue (550 N. Hillside Ave.)



**JURISDICTION:** The Board has jurisdiction to consider the variance request under the provisions outlined in Section 2.12.590.B, Code of the City of Wichita. The Board may grant the request when all five conditions, as required by State Statutes, are found to exist.

**BACKGROUND:** The applicant is requesting three variances of the Sign Code to permit signage for an addition to Wesley Medical Center, located at the northeast corner of East Central Avenue and North Hillside Avenue. The first variance is to increase BZA 2-97 approved height of 68'-6" to 74'-0" on the south elevation. The second variance is to increase the size from 32 square feet to 132.86 square feet and increase the height from 30 feet to 74 feet on the north elevation. The third variance is to allow five signs with a combined square footage of 156.33 square feet and to increase the height from 30 feet to 74 feet on the west elevation, which is the entrance to the facility. The applicant submitted the attached elevation renderings and site plan showing the design and location on the building of the proposed signage.

The applicant submitted information describing the need for the variances and the manner in which the variances requested meet the five criteria for the granting of the variances. The applicants indicate that the proposed signs are designed, laid out and shall be constructed in a manner that achieves harmony with the neighborhood, fosters peaceful relations with children and adults, and blends in visually in a low-key, unobtrusive manner with the surroundings. There have been many sign variances in the past on Wesley's campus, primarily due to the current zoning of the site. The GO General Office zoning is more restrictive for signage, and for a major regional hospital, clear, identifiable signage is important for its visibility. With a more intense zoning for the site, a number of these variances would not have been required. These past variances have been approved and Wesley has shown to be very considerate of the surrounding neighborhood.

Property north of the site is zoned GO General Office and is developed with more medical services attached to Wesley Hospital. South of the site, across Central Avenue, the property is zoned PUD Planned Unit Development (PUD-14) and GC General Commercial and is developed with retail and fast food restaurants. East of the site the property is zoned GO and is developed with medical services attached to Wesley Hospital. West of the site property is zoned LC and GC and is developed with fast food restaurants and additional medical services and offices.

**ADJACENT ZONING AND LAND USE:**

NORTH	GO	Medical Services / Offices
SOUTH	PUD and GC	Retail and Fast Food Restaurants
EAST	GO	Medical Services / Hospital
WEST	LC and GC	Fast Food Restaurants and Medical Services / Offices

*The five criteria necessary for approval as they apply to the requested variance.*

**UNIQUENESS:** It is staff's opinion that this property is unique inasmuch as the proposed signage is for on business providing a variety of services and located within a large medical center campus. Typically, such a large campus would house numerous businesses, and

each business would be allowed separate signage with the likely square footage of the signage exceeding the square footage of signage requested by the applicant. The site is also unique given its location along Hillside, a heavily traveled arterial street with significant development of commercial with larger sign area allocations. The site is further unique in that this sign identifies the Children's Hospital within the larger hospital, and the uniqueness of a Children's Hospital would require easy identification.

**ADJACENT PROPERTY:** It is the opinion of staff that the granting of the variances requested will not adversely affect the rights of adjacent property owners, inasmuch as the only properties that will have a direct view of the signage are developed with non-residential uses.

**HARDSHIP:** It is staff's opinion that the strict application of the provisions of the sign code would constitute a hardship upon the applicant inasmuch as the Children's Hospital needs its own building sign identification, and a 32 square foot sign would not be sufficiently visible on this multi-story building complex along an arterial street.

**PUBLIC INTEREST:** It is staff's opinion that the requested variances would not adversely affect the public interest inasmuch as increased visibility of the Children's Hospital location would serve in the community's interest. The requested signage variances is at an appropriate, legible scale relative to the larger building.

**SPIRIT AND INTENT:** It is staff's opinion that the granting of the variances would not oppose the general spirit and intent of the Sign Code inasmuch as the signage will make it easier to locate the facility and the services provided within the facility while balancing these identification needs with the needs for high-quality community aesthetics.

**RECOMMENDATION:** It is staff's opinion that the signage request is appropriate for identification of medical services on a large medical center campus. Should the Board determine that the conditions necessary to the granting of the variance exist, then it is the recommendation of the Secretary that the variances to increase the size and height of the signage be GRANTED, subject to the following conditions:

1. All signage on the subject property shall conform to the requirements of the Sign Code except that variances are granted to permit an increase to the BZA 2-97 approved height of 68'-6" to 74'-0" on the south elevation, increase the size from 32 square feet to 132.86 square feet and increase the height from 30 feet to 74 feet on the north elevation, and to allow five signs with a combined square footage of 156.33 square feet and to increase the height from 30 feet to 74 feet on the west elevation.
2. The signs permitted by the variance shall be placed in locations and be of a design that are in substantial conformance with the approved site plan and elevation renderings.
3. The applicant shall obtain all permits necessary to construct the signage and the signage shall be erected within one year of the variance granting, unless such time period is extended by the BZA.

4. The above conditions are subject to enforcement by any legal means available to the City of Wichita.



div. CIB International  
826 Curie Drive, Alpharetta, GA 30005  
Tel: 678/393-3313 Fax: 678/393-3323

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**Derrick K. Slocum**  
Division Supervisor  
Wichita-Sedgwick County  
Metropolitan Area Planning Department  
City Hall - 10th Floor  
455 N. Main Street  
Wichita, KS 67202-1688  
316-268-4445

RE: Statement Regarding Five Conditions Required For Granting a Variance. Wesley Medical BZA

This letter is to respectfully request the grant of a variance for Wesley Medical Center which is located in 550 N. Hillside – Wichita, Kansas 67214. The variance requested is relatively minor, and as shown below meets all of the five conditions pursuant to Section 2.12.590.B Code of the City of Wichita.

We are of the belief that this site would be an exceptional or extraordinary circumstance because Wesley Medical Center's presence in the neighborhood increasingly creates a safe and convenient atmosphere for all neighbors. By having signs to identify the building, the community and surrounding areas may identify the Hospital with ease. The granting of such variance will be in harmony with the general purpose and intent of its title. The proposed signs are designed, laid out, and shall be constructed in a manner that achieves harmony with the neighborhood, fosters peaceful relations with children and adults, and blends in visually in a low-key, unobtrusive manner with the surroundings.

- A. The variance arises from such conditions which is unique to the property in question and which is not ordinarily found in the same zone GO or district; and is not created by an action or actions of the property owners or the applicant inasmuch as the building is five stories tall and is being used as a hospital that provided emergency medical services to the public and in addition specializes in children's healthcare.
- B. The granting of the permit for the variance will not adversely affect the rights of adjacent property owners or residents inasmuch as all properties surrounding this site are developed with commercial or office uses. Furthermore, the lighting of the sign will be limited to internal illumination only and should not add measurably to the illumination already existing in this area.
- C. The strict application of the zooming ordinance of which this variance is requested will constitute unnecessary hardship upon the property owners represented in the application inasmuch as the applicant has made a substantial investment in this property and has taken steps to re-gentrify the property and to establish a full-service regional community hospital serving Wichita and the surrounding area and without a building signs similar to the one proposed, this presence would be easily identified

- D. The variance desired will not adversely affect the public health, safety, morals order, convenience, prosperity general welfare or harmonious development in the community, inasmuch as the requested sign height and square footage is in character with the building and the limitations or lighting will keep the sign from being a distraction to motorists or residence in the area
  
- E. Granting of the variance desired will not be opposed to the general spirit and intent of the sign ordinance inasmuch as the intent is to provide adequate but not excessive signage for all properties, but no provisions are made for building signs on mid-rise or high-rise structures.

Drawings in support of the requested variance are attached herein

Respectfully submitted,



*David Bodzy*

Account Manager

678-393-3313 X 103



div. CIB International

826 Curie Drive, Alpharetta, GA 30005

Tel: 678/393-3313 Fax: 678/393-3323

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Derrick K. Slocum
Division Supervisor
Wichita-Sedgwick County
Metropolitan Area Planning Department
City Hall - 10th Floor
455 N. Main Street
Wichita, KS 67202-1688
316-268-4445

RE: Summary

The applicant, Wesley Medical Center has renovated their facility and removed all the exterior building signage approved per previous BZA's. They desire to install 132.86 SF on the North and South elevations of the building, approximately 74'-0" overall height, which is only 5'-4" higher, than the previous approved BZA-2-97. The reason being, the parapet roof fascia has been extended during the exterior renovation.

The sign code permits illuminated building signs in the "GO" General Office District, with the following limits: building signs are not to exceed 32 square feet in size or be greater than 30 feet in height. Therefore, we must request 3 variances to allow the submitted signage to be installed: (1) to increase BZA 2-97 from 68'-6" to 74'-0" on South Elevation. (2) To increase the size from 32 square feet to 132.86 SF and increase height from 30 feet to 74 feet on North Elevation. (3) To allow 5 signs with a combined square footage of 156.33 square feet and to increase height from 30 feet to 74 feet on West Elevation, which is the Children's Entrance.

These sign restriction have been part of the development regulations since 1974, when the sign code was first adopted. Since then, several multi-story buildings, such as Riverside Health System, Hampton Inn Motel, and Via Christi Reginal Medical Center have obtained variances to permit buildings signs at the height and sizes greater than allowed by code.

The signs proposed will be installed only on the North, South, and West elevations of the building. The signs will consist of internally illuminated channel letters mounted directly to the building's façade. The signs will be placed at a height and be at a scale which should not impact the surrounding properties nor existing signs in the area.

Adjacent Zoning and Land Use:

North: "GO" Hospital parking garage
South: "GC" and "B" Medical office building, retail uses
East: "GO" Medical offices, parking garage and motel
West "LC" and TF-3" Restaurants and health strategies

Respectfully submitted,

David Bodzy
Account Manager
678-393-3313 X 103



# WESLEY MEDICAL CENTER

## PICU & PEDIATRIC RENOVATIONS

550 N.HILLSIDE - WICHITA, KANSAS 67214



## EXTERIOR SIGNAGE PROGRAM

REVISION #2  
2-6-2016

PREPARED BY:



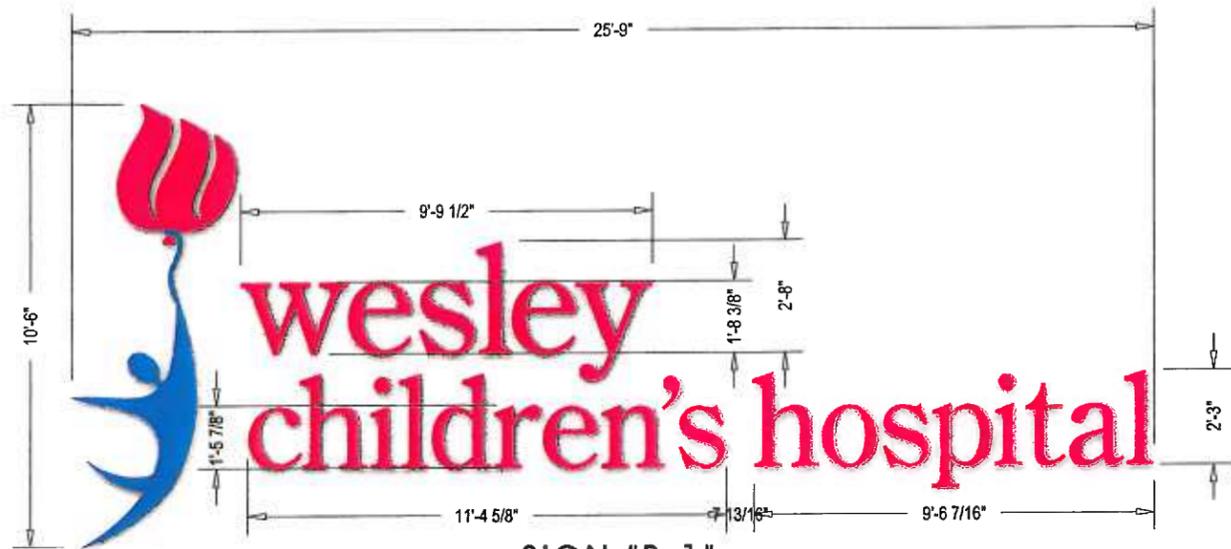
826 CURIE DRIVE  
ALPHARETTA, GA 30005  
TEL: 678-393-3313  
FAX: 678-393-3323

23'-4"

# Children's Entrance

2

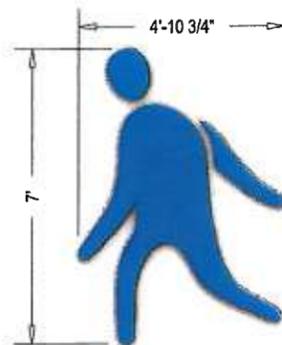
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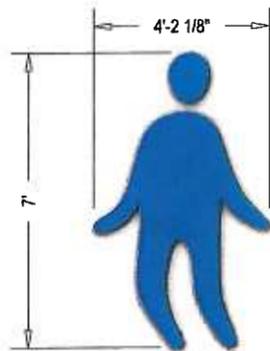
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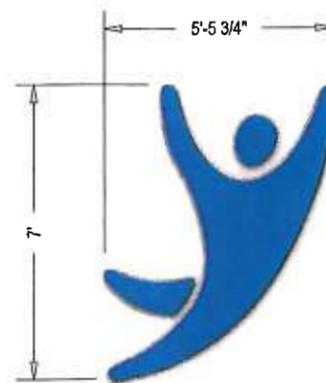
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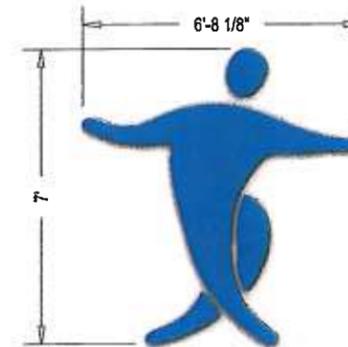
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**SIGN "D"**  
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**SIGN "E"**  
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QTY = 1 SET



826 CURIE DRIVE  
ALPHARETTA, GA 30005  
TEL: 678-393-3313  
FAX: 678-393-3323

**PROJECT**

WESLEY MEDICAL CENTER  
EXTERIOR SIGNAGE PROGRAM

**PROJECT ADDRESS**

550 N. HILLSIDE - WICHITA,  
KANSAS 67214

**JOB #:**

3089

ACCOUNT MANAGER:  
David Bodzy

COORDINATOR:  
Laura Rackley

DRAWN BY:  
JDSS

CONTACT:

CONTACT #:

DATE:  
2-6-2016

**REVISIONS**

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**APPROVAL**

- Approved as is - No Changes
- Approved with changes noted
- Not Approved - Revise & Resubmit

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1 OF 15

**PROJECT**

WESLEY MEDICAL CENTE  
EXTERIOR SIGNAGE PROGRAM

**PROJECT ADDRESS**

550 N.HILLSIDE - WICH  
KANSAS 67214

**JOB # :**

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**ACCOUNT MANAGER:**

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**DRAWN BY:**

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**APPROVAL**

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- Not Approved - Revise & Resubmit

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2 OF 15



**A** FRONT ENTRANCE SIGN (SIGN "A")

GRAPHIC SCALE

0' 2' 4' 6' 8' 10'

**PROJECT**

WESLEY MEDICAL CENTER  
EXTERIOR SIGNAGE PROGRAM

**PROJECT ADDRESS**

550 N. HILLSIDE - WICHITA,  
KANSAS 67214

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**DATE:** 2-6-2016

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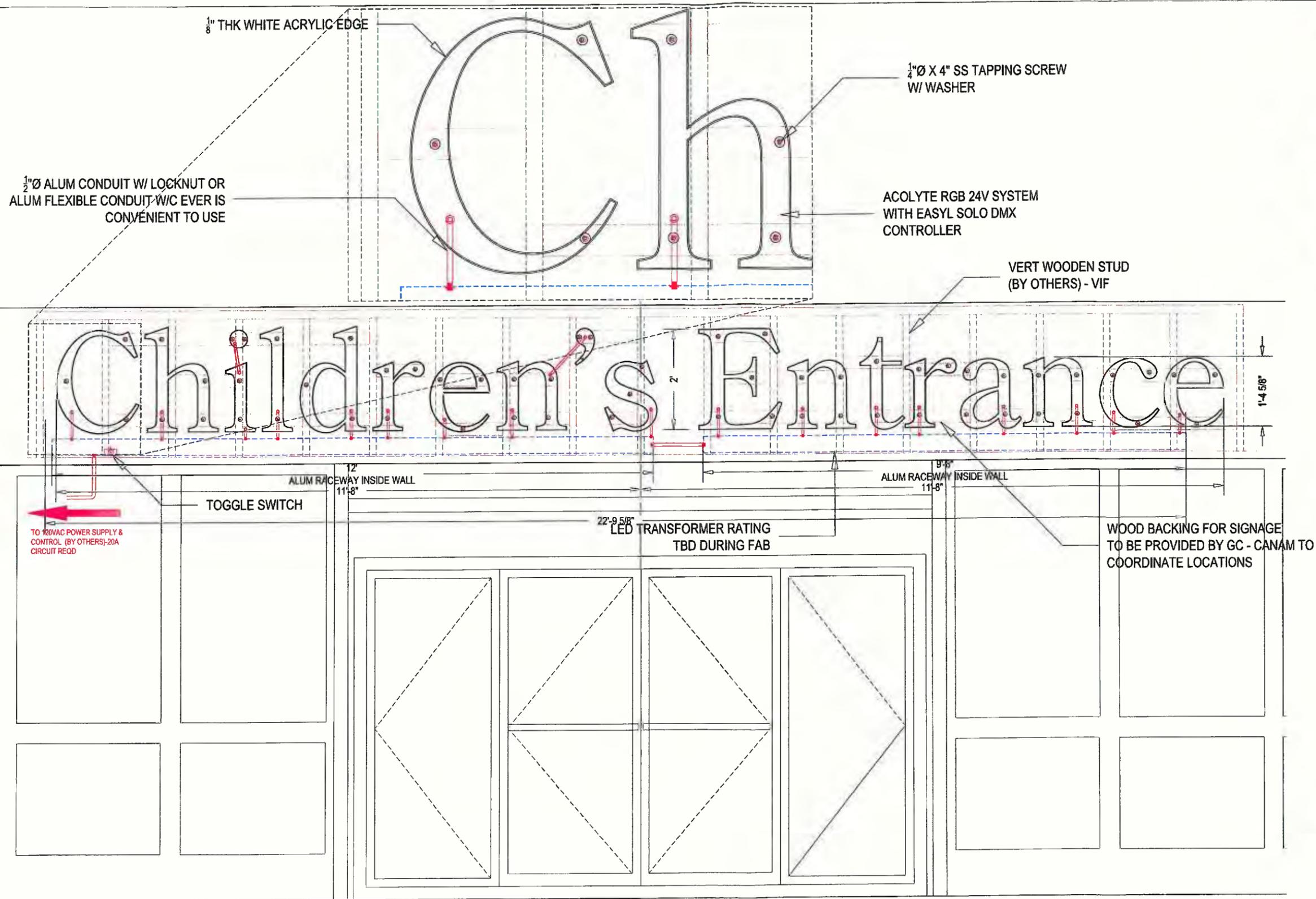
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3 OF 15



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**PROJECT**

WESLEY MEDICAL CENTER  
EXTERIOR SIGNAGE PROGRAM

**PROJECT ADDRESS**

550 N. HILLSIDE - WICHITA,  
KANSAS 67214

**JOB #:**

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ACCOUNT MANAGER:  
David Bodzy

COORDINATOR:  
Laura Rackley

DRAWN BY:  
JDSS

CONTACT:

CONTACT #:

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2-6-2016

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**APPROVAL**

- Approved as is - No Changes
- Approved with changes noted
- Not Approved - Revise & Resubmit

NAME \_\_\_\_\_ DATE \_\_\_\_\_

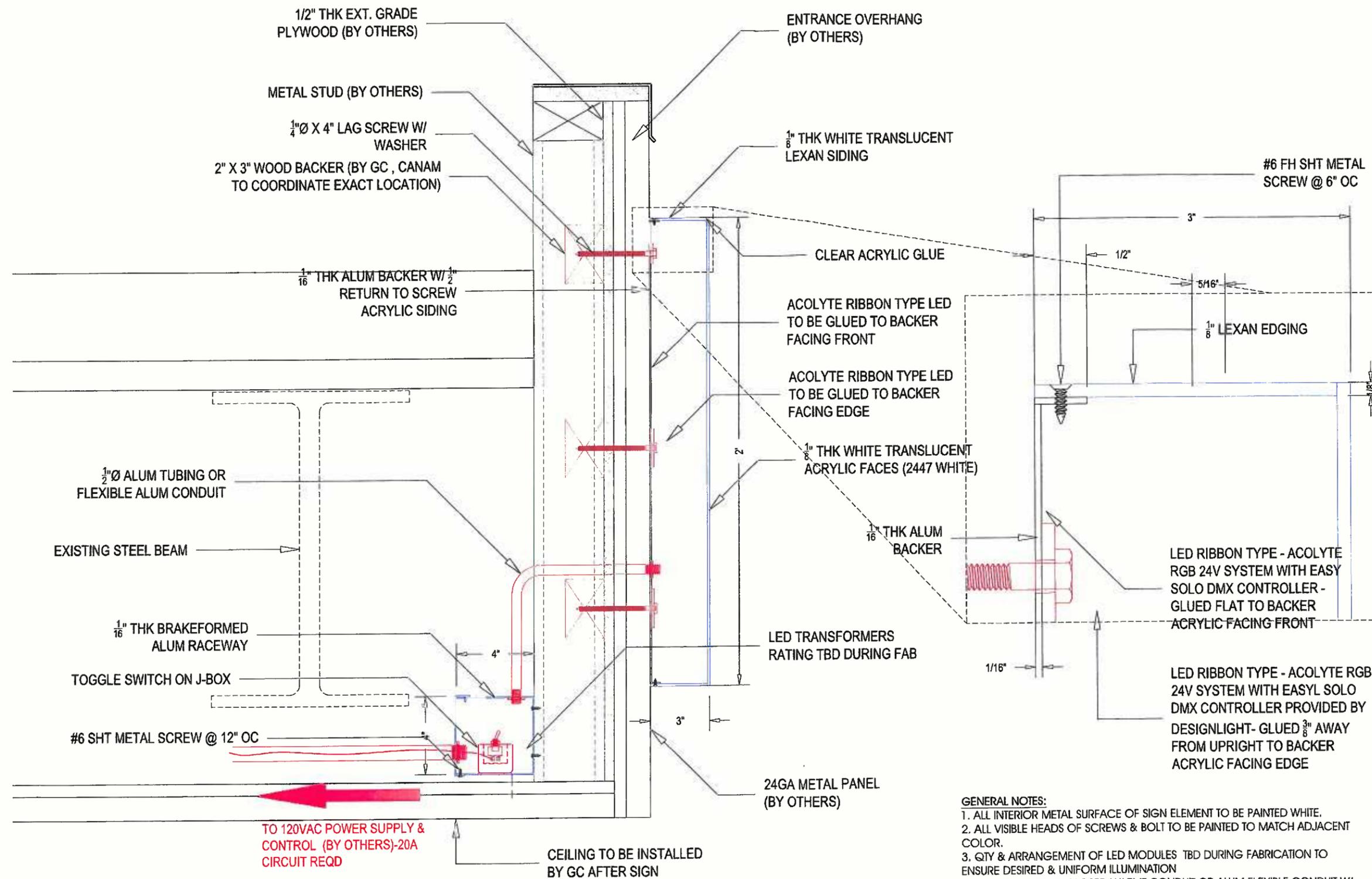
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**SCALE**

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PAGE

4 OF 15



**A TYPICAL SECTION**  
GRAPHIC SCALE 2" 4" 6" 8" 10" 12"

- GENERAL NOTES:**
1. ALL INTERIOR METAL SURFACE OF SIGN ELEMENT TO BE PAINTED WHITE.
  2. ALL VISIBLE HEADS OF SCREWS & BOLT TO BE PAINTED TO MATCH ADJACENT COLOR.
  3. QTY & ARRANGEMENT OF LED MODULES TBD DURING FABRICATION TO ENSURE DESIRED & UNIFORM ILLUMINATION
  4. ALL WIRING TO ENCLOSED W/ EMT CONDUIT OR ALUM FLEXIBLE CONDUIT W/ NECESSARY FITTINGS WHICHEVER IS CONVENIENT FOR EACH SITUATION.
  5. ALL FRAMING ELEMENT TO BE SHOP WELDED TO CREATE A STRUCTURALLY SOUND FRAME.
  6. ALL ALUM SKIN TO BE SPOT WELDED NEAT
  7. ALL ALUM SURFACE IN CONTACT W/ STEEL TO BE APPLIED W/ ANTI CORROSION FILM.
  8. ALL ALUM SPACERS VISIBLE TO BE PAINTED TO MATCH WALL PANEL COLOR.
  9. ALL PENETRATION TO WALL PANEL & SIGN TO BE APPLIED W/ SILICON SEALANT.

**PROJECT**

WESLEY MEDICAL CENTER  
EXTERIOR SIGNAGE PROGRAM

**PROJECT ADDRESS**

550 N. HILLSIDE - WICHITA,  
KANSAS 67214

**JOB #:**

3089

ACCOUNT MANAGER:  
David Bodzy

COORDINATOR:  
Laura Rackley

DRAWN BY:  
JDSS

CONTACT:

CONTACT #:

DATE:  
2-6-2016

**REVISIONS**

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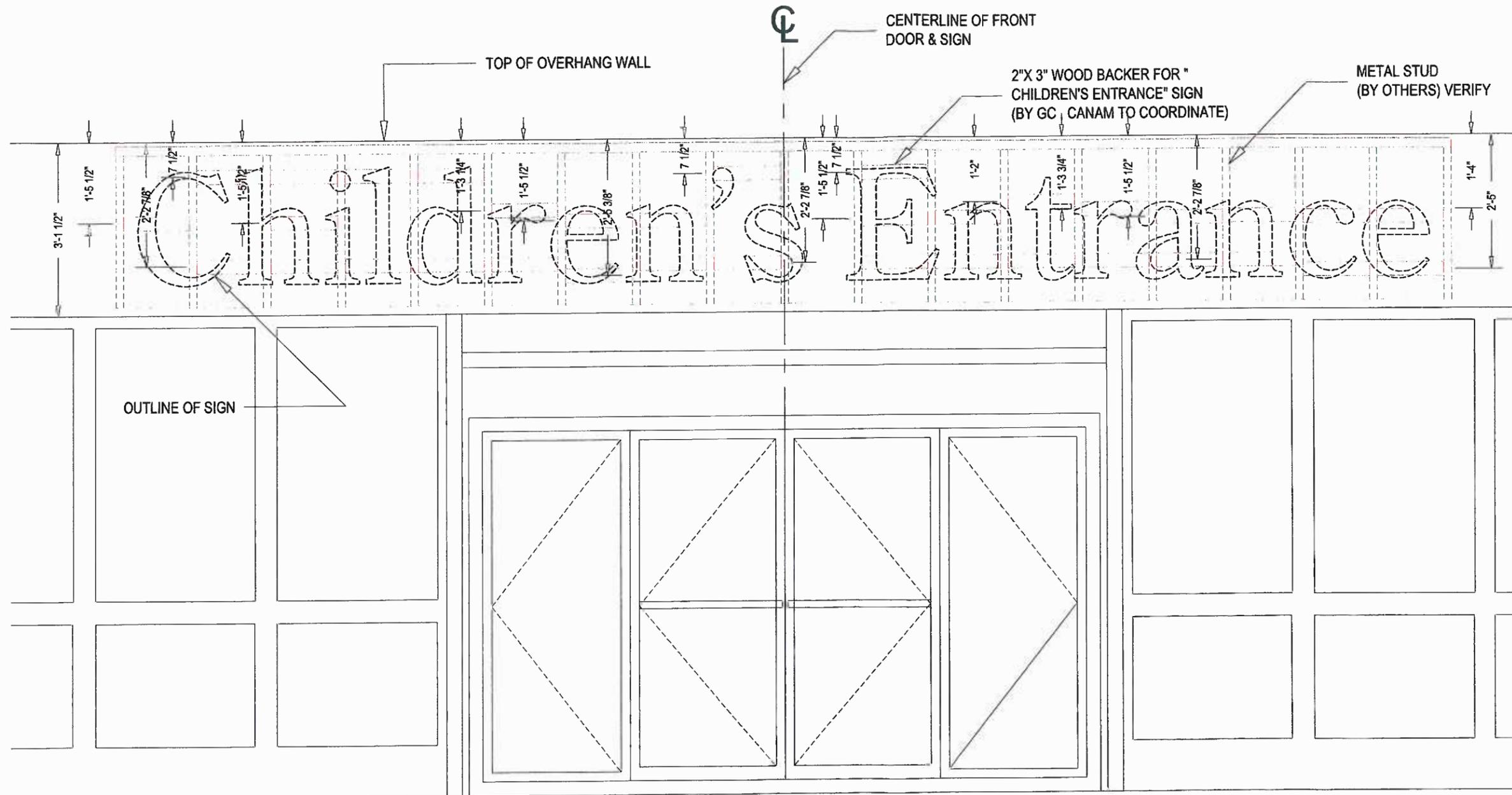
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5 OF 15



**A WOOD BACKER LAYOUT**  
GRAPHIC SCALE 0 1 2 3

FAB ALUM BALLOON ICON PAINTED PMS 7636C (RED) W/ RED TRANSLUCENT ACRYLIC FACE- FRONT ILLUMINATED W/ WHITE LED

FAB ALUM CHANNEL LETTERS PAINTED PMS 7636C (RED) W/ RED TRANSLUCENT ACRYLIC FACE & CLEAR ACRYLIC BACK -INTERNALLY ILLUMINATED BOTH FRONT & BACK

FAB ALUM BALLOON ICON PAINTED PMS 7636C (RED) W/ RED TRANSLUCENT ACRYLIC FACE- FRONT ILLUMINATED W/ WHITE LED

FAB ALUM CHILD SILHOUETTE & STRING PAINTED PMS 7687C (BLUE) W/ TRANSLUCENT BLUE ACRYLIC FACE & CLEAR ACRYLIC BACK -INTERNALLY ILLUMINATED BOTH FRONT & BACK

FAB ALUM CHILD SILHOUETTE & STRING PAINTED PMS 7687C (BLUE) W/ TRANSLUCENT BLUE ACRYLIC FACE & CLEAR ACRYLIC BACK -INTERNALLY ILLUMINATED BOTH FRONT & BACK

FAB ALUM CHANNEL LETTERS PAINTED PMS 7636C (RED) W/ RED TRANSLUCENT ACRYLIC FACE & CLEAR ACRYLIC BACK -INTERNALLY ILLUMINATED BOTH FRONT & BACK

75'-8 1/4"

75'-10 1/2"

**A** SOUTH ELEVATION (SIGN B-1)

GRAPHIC SCALE 0 2 4 6 8 10

**B** NORTH ELEVATION (SIGN B-2)

GRAPHIC SCALE 0 2 4 6 8 10



826 CURIE DRIVE  
ALPHARETTA, GA 30005  
TEL: 678-393-3313  
FAX: 678-393-3323

**PROJECT**

WESLEY MEDICAL CENTER  
EXTERIOR SIGNAGE PROGRAM

**PROJECT ADDRESS**

550 N. HILLSIDE - WICHITA,  
KANSAS 67214

**JOB # :**

3089

**ACCOUNT MANAGER:**

David Bodzy

**COORDINATOR:**

Laura Rackley

**DRAWN BY:**

JDSS

**CONTACT:**

**CONTACT #:**

**DATE:**

2-6-2016

**REVISIONS**

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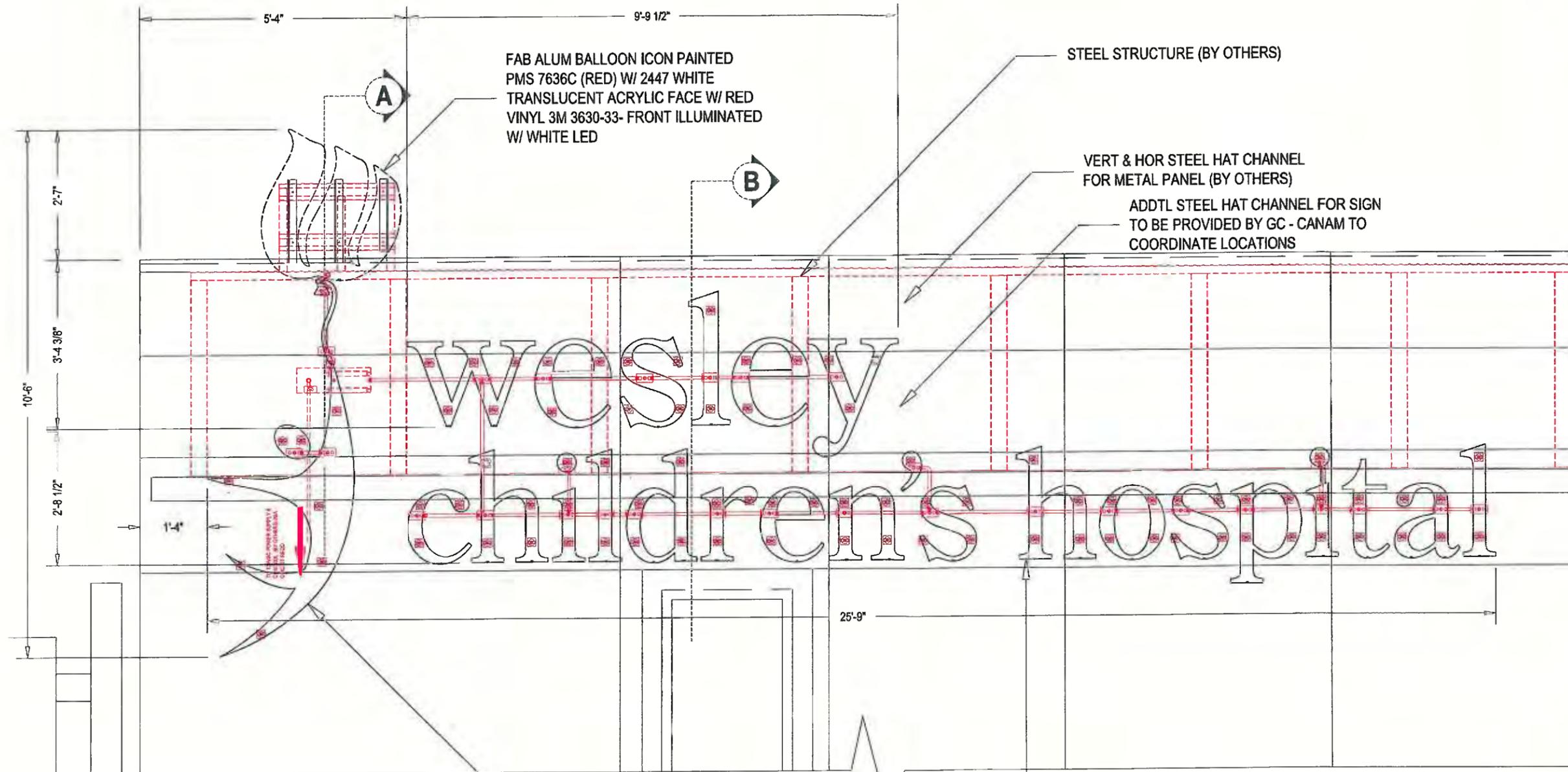
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**PAGE**

6 OF 15

**GENERAL NOTES:**

1. ALL INTERIOR METAL SURFACE OF SIGN ELEMENT TO BE PAINTED WHITE.
2. ALL VISIBLE HEADS OF SCREWS & BOLT TO BE PAINTED TO MATCH ADJACENT COLOR.
3. QTY & ARRANGEMENT OF LED MODULES TBD DURING FABRICATION TO ENSURE DESIRED & UNIFORM ILLUMINATION
4. ALL WIRING TO ENCLOSED W/ EMT CONDUIT OR ALUM FLEXIBLE CONDUIT W/ NECESSARY FITTINGS WHICHEVER IS CONVENIENT FOR EACH SITUATION.
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8. ALL ALUM SPACERS VISIBLE TO BE PAINTED TO MATCH WALL PANEL COLOR.
9. ALL PENETRATION TO WALL PANEL & SIGN TO BE APPLIED W/ SILICON SEALANT.



FAB ALUM CHILD SILHOUETTE & STRING PAINTED PMS 7687C (BLUE) W/ 2447 WHITE TRANSLUCENT ACRYLIC FACE W/ BLUE VINYL 3M AR-557 & CLEAR ACRYLIC BACK -INTERNALLY ILLUMINATED BOTH FRONT & BACK

FAB ALUM BALLOON ICON PAINTED PMS 7636C (RED) W/ 2447 WHITE TRANSLUCENT ACRYLIC FACE W/ RED VINYL 3M 3630-33- FRONT ILLUMINATED W/ WHITE LED

STEEL STRUCTURE (BY OTHERS)

VERT & HOR STEEL HAT CHANNEL FOR METAL PANEL (BY OTHERS)

ADDTL STEEL HAT CHANNEL FOR SIGN TO BE PROVIDED BY GC - CANAM TO COORDINATE LOCATIONS

FAB ALUM CHANNEL LETTERS PAINTED PMS 7636C (RED) W/ 2447 WHITE TRANSLUCENT ACRYLIC FACE W/ RED VINYL 3M 3630-33 & CLEAR ACRYLIC BACK - INTERNALLY ILLUMINATED BOTH FRONT & BACK

**A SOUTH SIGN DETAILED LAYOUT**

GRAPHIC SCALE



826 CURIE DRIVE  
ALPHARETTA, GA 30005  
TEL: 678-393-3313  
FAX: 678-393-3323

**PROJECT**

WESLEY MEDICAL CENTER  
EXTERIOR SIGNAGE PROGRAM

**PROJECT ADDRESS**

550 N.HILLSIDE - WICHITA,  
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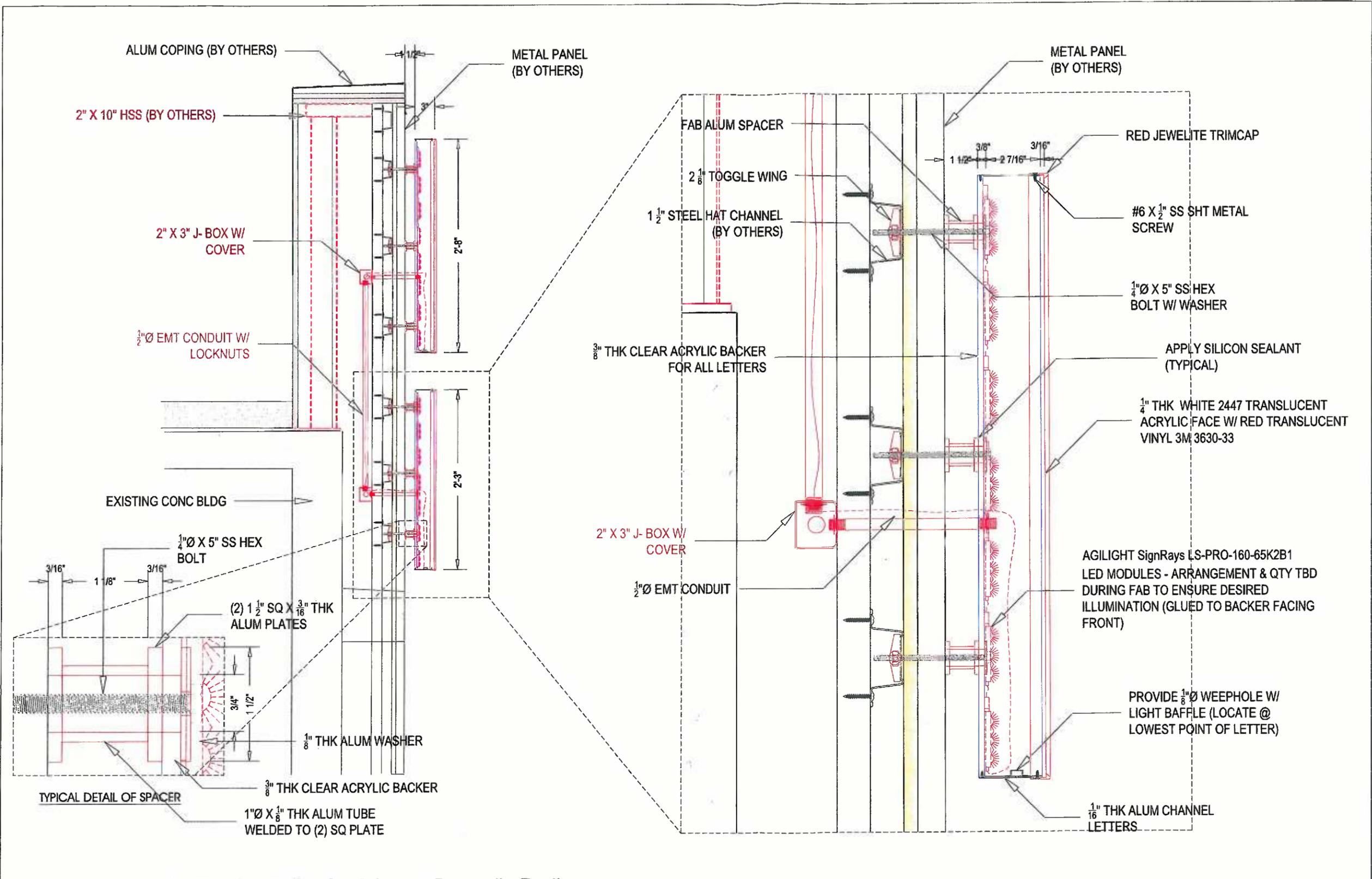
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9 OF 15



**A SECTION @ " B "**  
GRAPHIC SCALE  
0' 1' 2' 3'

**PROJECT**

WESLEY MEDICAL CENTER  
EXTERIOR SIGNAGE PROGRAM

**PROJECT ADDRESS**

550 N. HILLSIDE - WICHITA,  
KANSAS 67214

**JOB # :**

3089

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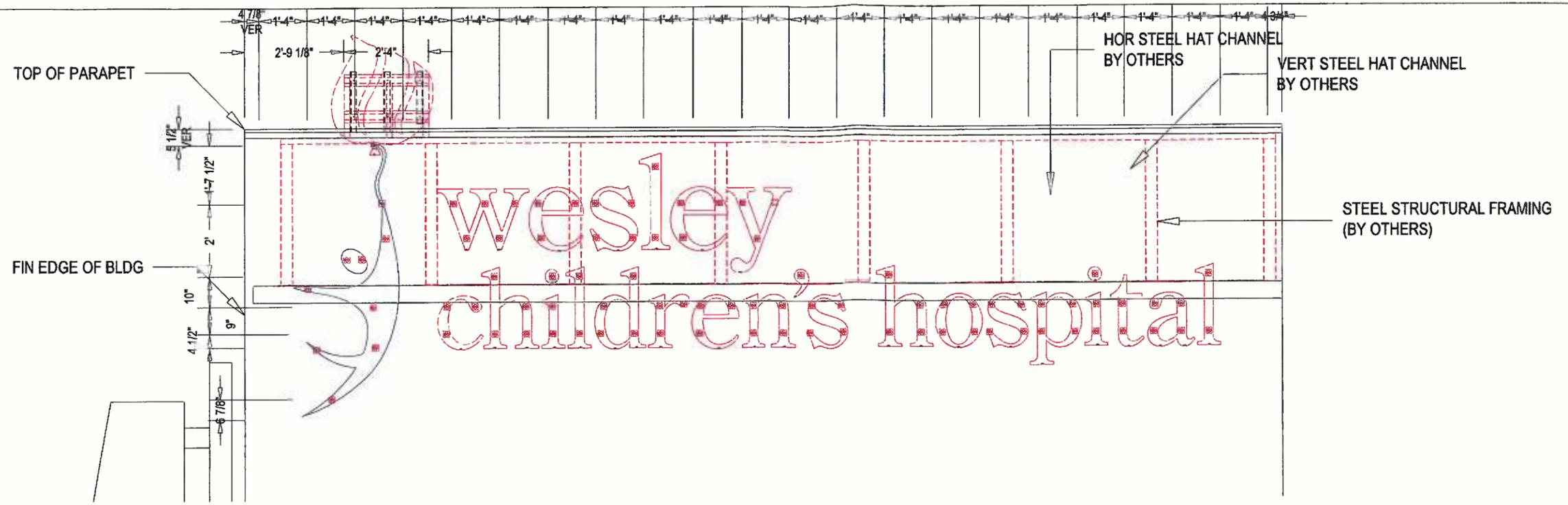
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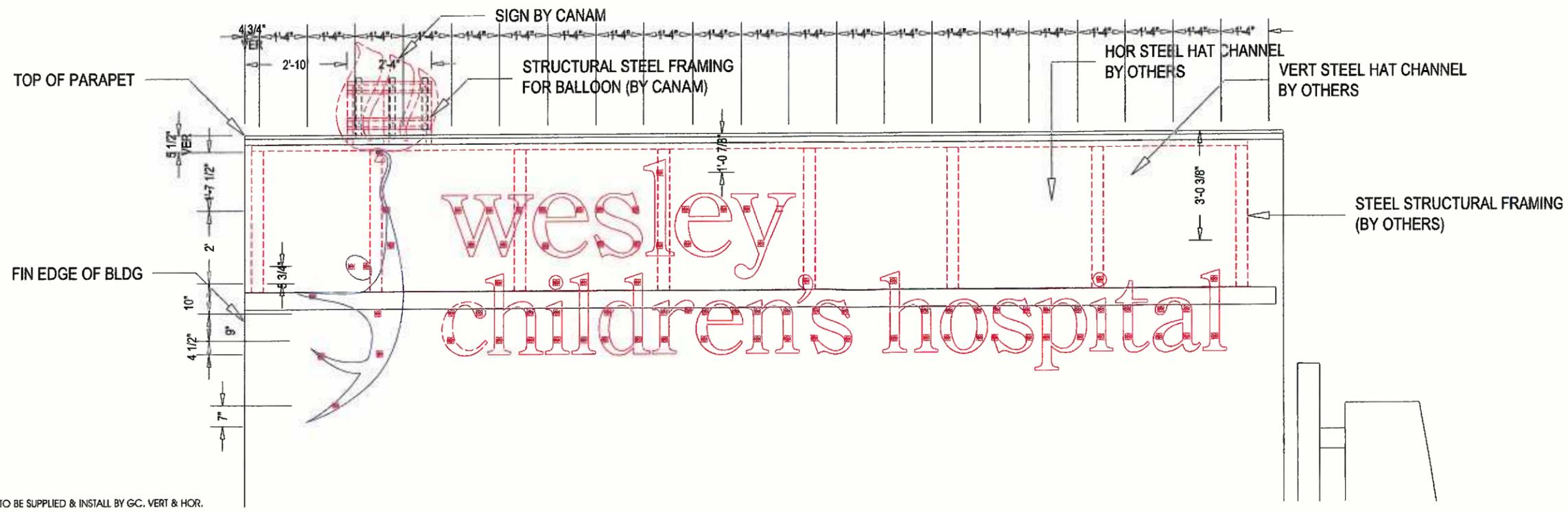
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**PAGE**

10 OF 15



**(A) SOUTH ELEV. HAT CHANNEL LAYOUT (B-1)**



**(B) NORTH ELEV. HAT CHANNEL LAYOUT (B-2)**

**NOTE:**  
1. ALL HAT CHANNEL TO BE SUPPLIED & INSTALL BY GC. VERT & HOR. STEEL HAT CHANNEL LOCATION REQUIRED BY METAL PANEL CLADDING JOINTS ARE PRIORITY OVER THE SIGNAGE. CANAM TO COORDINATE W/ GC THE ACTUAL LOCATION PRIOR TO FAB. HOWEVER, GC TO PROVIDE ADDTL HOR. HAT CHANNEL AS NEEDED FOR SIGNAGE MTG.  
2. GC TO SUPPLY BOARDS & PANELS - CANAM TO APPLY PATTERNS TO PANELS & DRILL HOLES FOR MTG & ELECTRICAL - GC TO INSTALL PANELS

**PROJECT**

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KANSAS 67214

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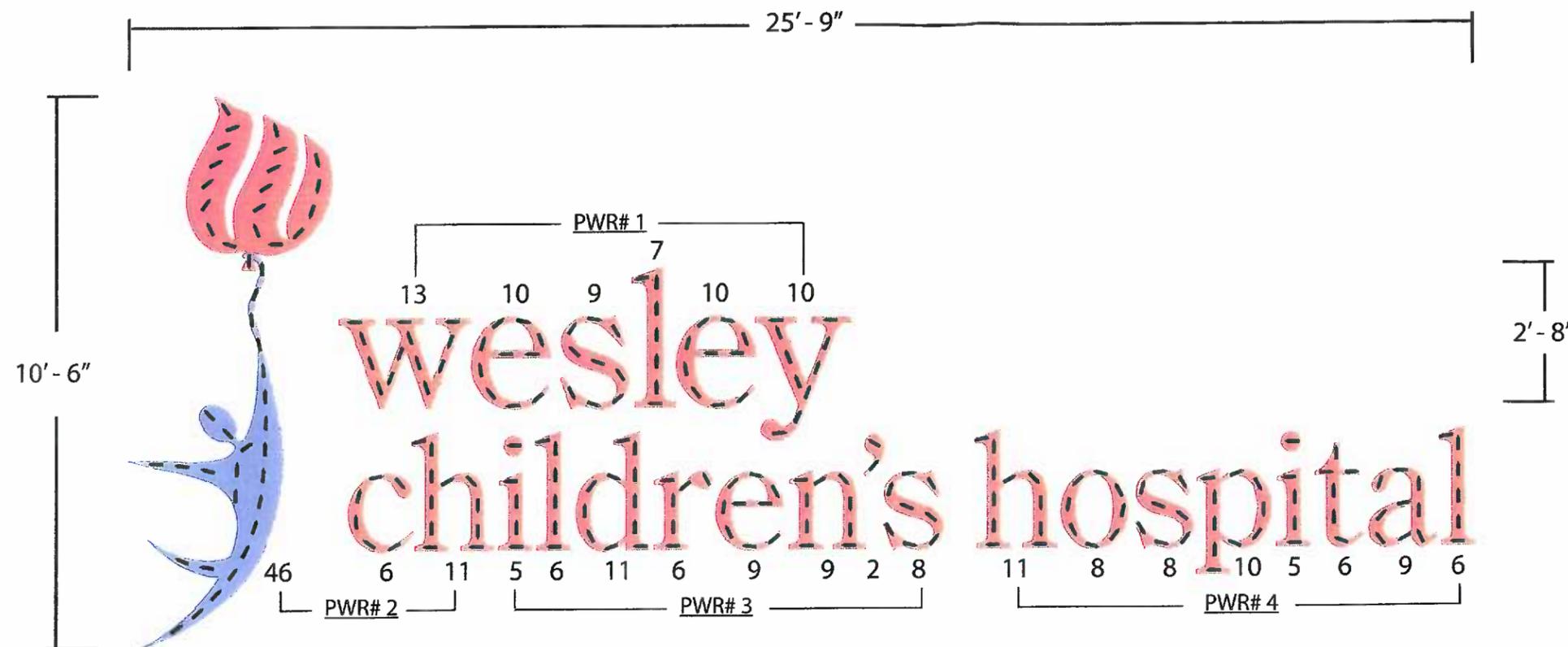
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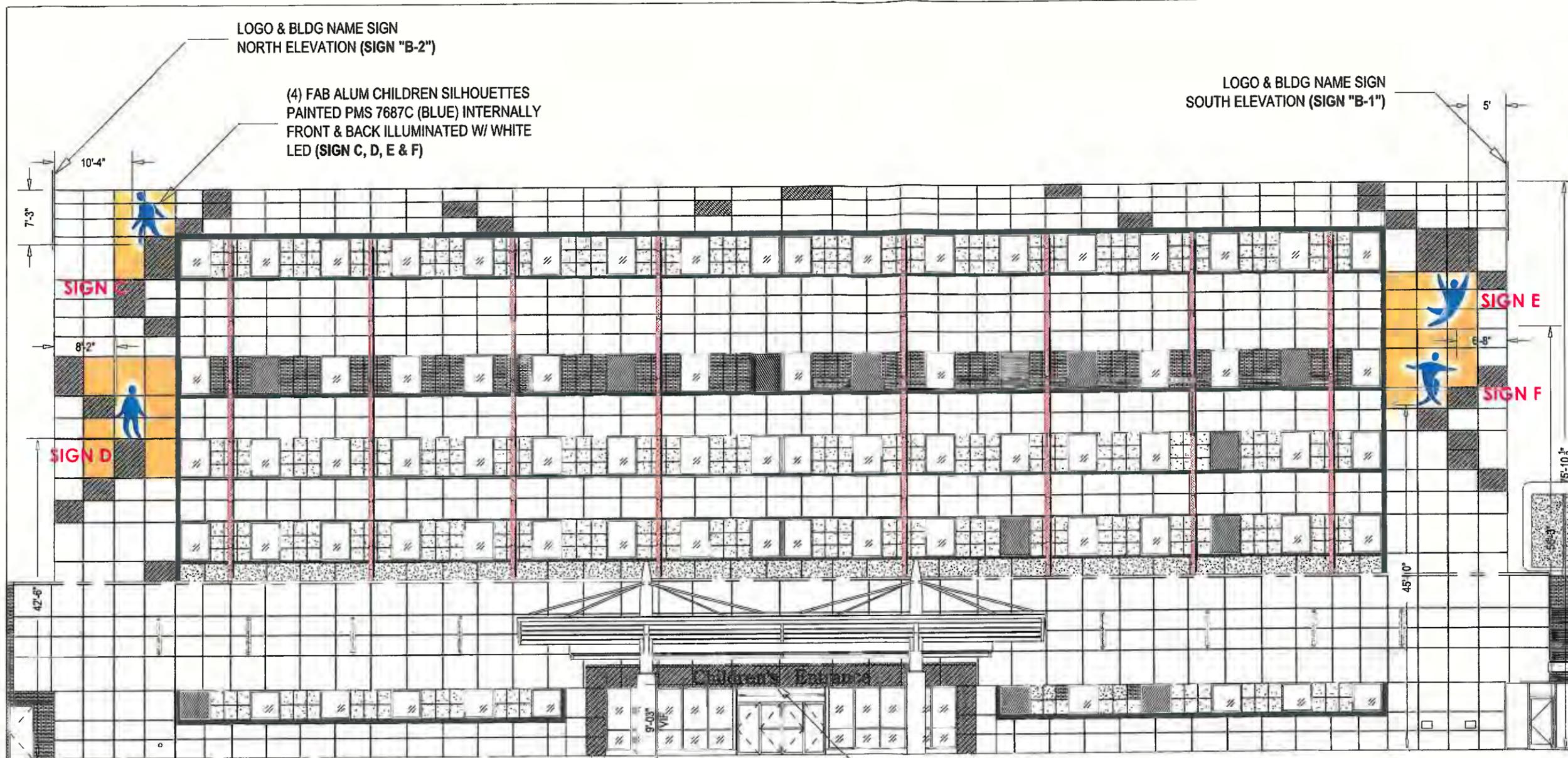
11 OF 15



**LED LAYOUT FOR SIGN B-1 & SIGN B-2**

**Notes:**  
Layout based off a 3" depth, face and halo lit.

121 feet LS-PRO160-65K-2B1 - 241 Modules  
4 - PS12-60WSL-100-277V



**A FRONT ELEVATION**

**CHILDREN'S ENTRANCE SIGN (SIGN "A")**

- GENERAL NOTES:**
1. ALL INTERIOR METAL SURFACE OF SIGN ELEMENT TO BE PAINTED WHITE.
  2. ALL VISIBLE HEADS OF SCREWS & BOLT TO BE PAINTED TO MATCH ADJACENT COLOR.
  3. QTY & ARRANGEMENT OF LED MODULES TBD DURING FABRICATION TO ENSURE DESIRED & UNIFORM ILLUMINATION
  4. ALL WIRING TO ENCLOSED W/ EMT CONDUIT OR ALUM FLEXIBLE CONDUIT W/ NECESSARY FITTINGS WHICHEVER IS CONVENIENT FOR EACH SITUATION.
  5. ALL FRAMING ELEMENT TO BE SHOP WELDED TO CREATE A STRUCTURALLY SOUND FRAME.
  6. ALL ALUM SKIN TO BE SPOT WELDED NEAT
  7. ALL ALUM SURFACE IN CONTACT W/ STEEL TO BE APPLIED W/ ANTI CORROSION FILM.
  8. ALL ALUM SPACERS VISIBLE TO BE PAINTED TO MATCH WALL PANEL COLOR.
  9. ALL PENETRATION TO WALL PANEL & SIGN TO BE APPLIED W/ SILICON SEALANT.
  10. GC TO SUPPLY WOOD BOARD - CANAM TO SUPPLY & APPLY PAPER PATTERN & DRILL HOLES FOR ELLECTRICAL & MOUNTING.

**CANAM**  
Signs & Imaging

826 CURIE DRIVE  
ALPHARETTA, GA 30005  
TEL: 678-393-3313  
FAX: 678-393-3323

**PROJECT**

WESLEY MEDICAL CENTER  
EXTERIOR SIGNAGE PROGRAM

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KANSAS 67214

**JOB # :**

3089

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Laura Rackley

**DRAWN BY:**

JDSS

**CONTACT:**

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12 OF 15

**PROJECT**

WESLEY MEDICAL CENTER  
EXTERIOR SIGNAGE PROGRAM

**PROJECT ADDRESS**

550 N. HILLSIDE - WICHITA,  
KANSAS 67214

**JOB # :**

3089

ACCOUNT MANAGER:  
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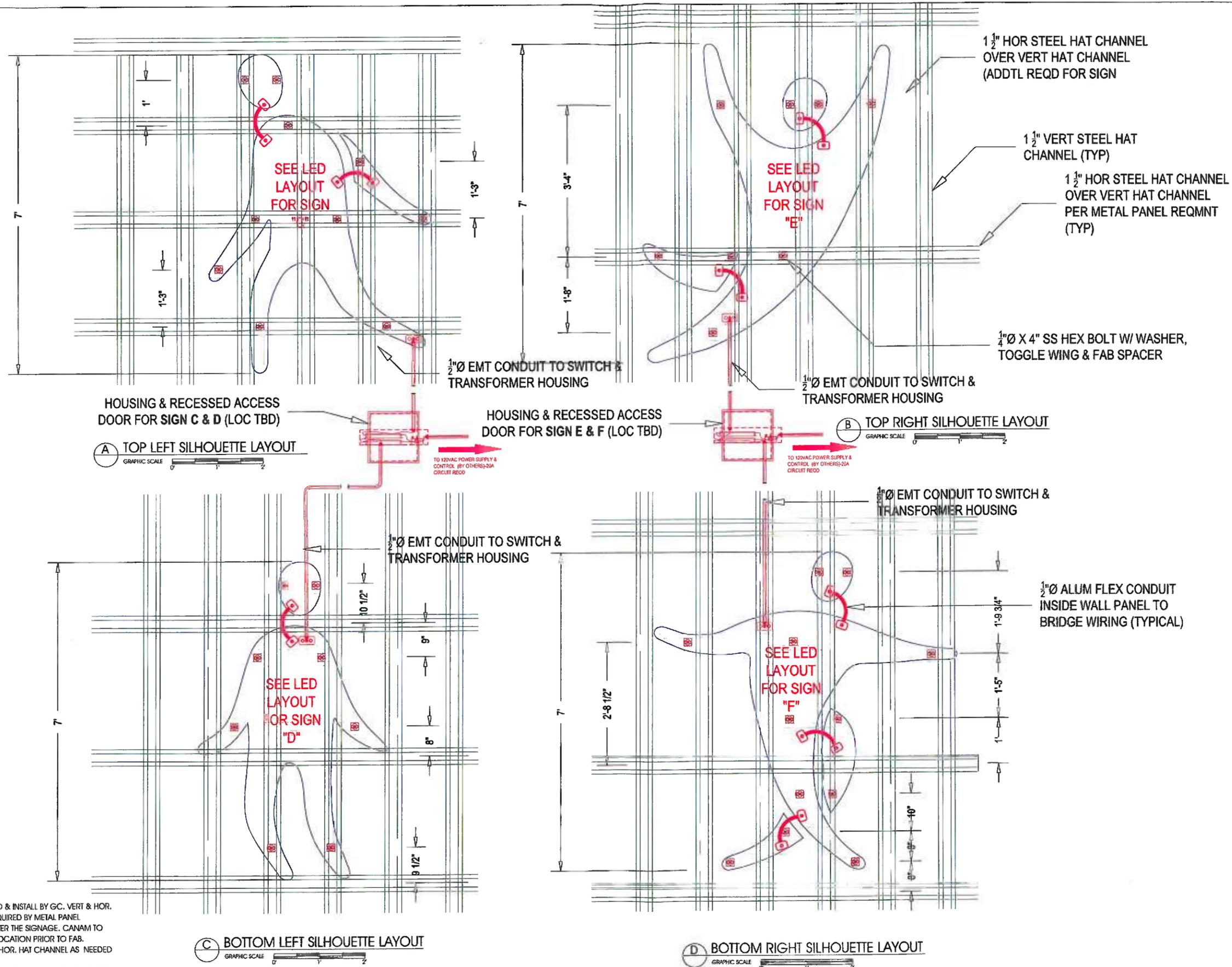
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**SCALE**

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**PAGE**

13 OF 15



**NOTE:**

1. ALL HAT CHANNEL TO BE SUPPLIED & INSTALL BY GC. VERT & HOR. STEEL HAT CHANNEL LOCATION REQUIRED BY METAL PANEL CLADDING JOINTS ARE PRIORITY OVER THE SIGNAGE. CANAM TO COORDINATE W/ GC THE ACTUAL LOCATION PRIOR TO FAB. HOWEVER, GC TO PROVIDE ADDTL HOR. HAT CHANNEL AS NEEDED FOR SIGNAGE MFG.
2. CANAM TO VERIFY FROM GC THE SUITABLE LOCATION OF SWITCH & TRANSFORMER HOUSING & RECESSED ACCESS DOOR PRIOR TO INSTALLATION.

**PROJECT**

WESLEY MEDICAL CENTER  
EXTERIOR SIGNAGE PROGRAM

**PROJECT ADDRESS**

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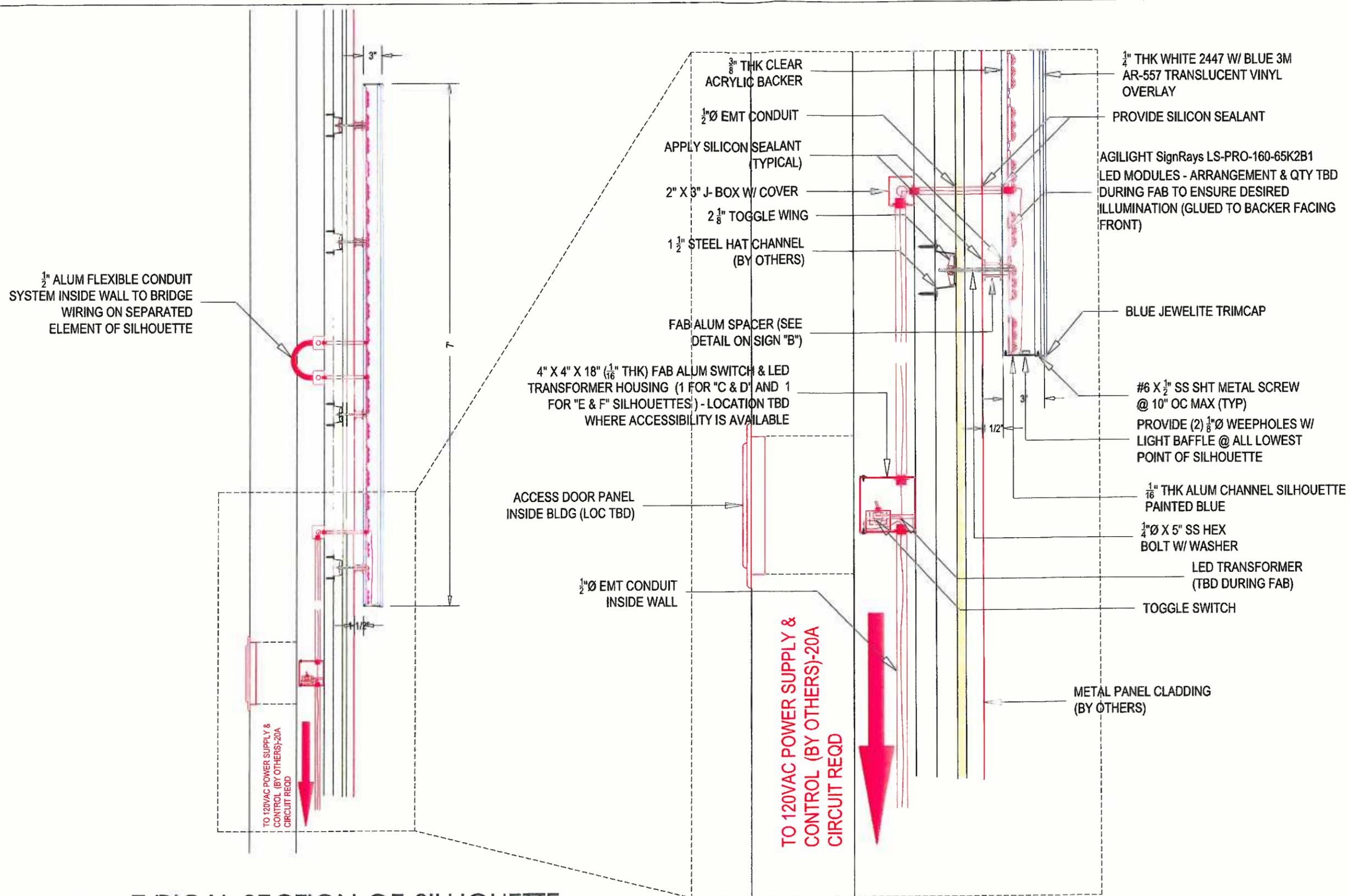
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**A** TYPICAL SECTION OF SILHOUETTE  
GRAPHIC SCALE



**PROJECT**

WESLEY MEDICAL CENTER  
EXTERIOR SIGNAGE PROGRAM

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550 N.HILLSIDE - WICHITA,  
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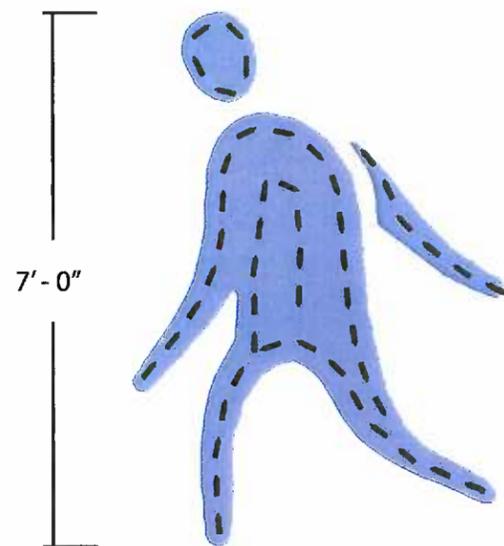
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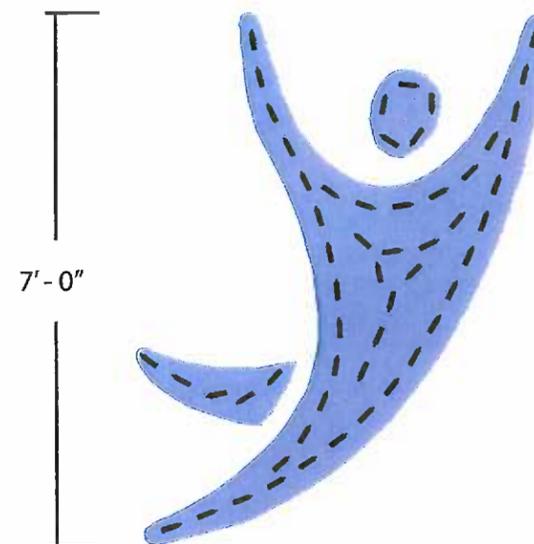
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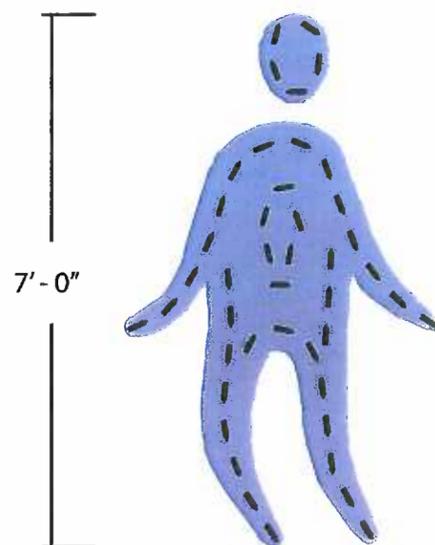
25 feet LS-PRO160-65K-2B1 - 50 Modules  
1 - PS12-60WSL-100-277V

**LED LAYOUT FOR SIGN "C"**



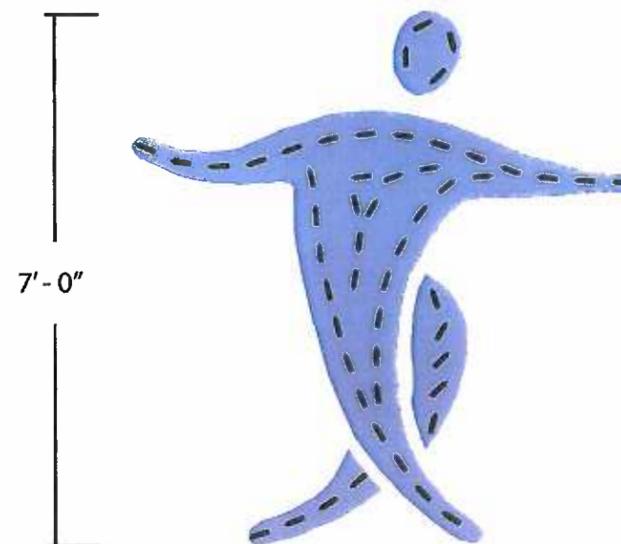
28 feet LS-PRO160-65K-2B1 - 56 Modules  
1 - PS12-60WSL-100-277V

**LED LAYOUT FOR SIGN "E"**



22 feet LS-PRO160-65K-2B1 - 44 Modules  
1 - PS12-60WSL-100-277V

**LED LAYOUT FOR SIGN "D"**



27 feet LS-PRO160-65K-2B1 - 53 Modules  
1 - PS12-60WSL-100-277V

**LED LAYOUT FOR SIGN "F"**

**Notes:**

Layout based off a 3" depth, face and halo lit.