

AGENDA
SUBDIVISION AND UTILITY ADVISORY COMMITTEE
Thursday, June 23, 2016
10:00 A.M.

The regular meeting of the Subdivision Committee of the Metropolitan Area Planning Commission will be held on **Thursday, June 23, 2016** at 10:00 a.m. in the Planning Department Conference Room, City Hall, 10th Floor, 455 N. Main Street, Wichita, Kansas.

NOTE: Vacation legal descriptions are available for public inspection in the Metropolitan Area Planning Department.

1. **VAC2016-00019: City request to vacate a portion of a platted setback** on property located north of I-135 on the east side of Hydraulic Avenue (3000 S Hydraulic).
2. **VAC2016-00020: County request to vacate a portion of a platted floodway reserve** on property generally located west of 183rd Street West on the south side of 29th Street North.
3. **VAC2016-00021: City request to vacate a portion of platted Diane public street right-of-way** generally located east of Seneca Street and north of 31st Street South.
4. **SUB2016-00013: (Deferred 6.09.16) Revised One-Step Final Plat – TIFFANI BREEZE ADDITION;** located on the north side of East 71st Street South, East of South 127th Street East. COUNTY
Surveyor: Abbott Land Survey, P.A.
Acreage: 40 acres
Lots: 22 lots
5. **SUB2016-00021: Preliminary Plat – BROOKFIELD ADDITION;** located on the southeast corner of 37th Street North and Greenwich Road.
Surveyor: Baughman Company, P.A.
Acreage: 118 acres
Lots: 186 lots
6. **SUB2016-00020: One-Step Final Plat – TYLER'S LANDING 6TH ADDITION;** located on the southeast corner of 37th Street North and Tyler Road.
Surveyor: Baughman Company, P.A.
Acreage: 1.4 acres
Lots: 6 lots
7. **SUB2016-00019: One-Step Final Plat – FAWN GROVE ADDITION;** located South of Kellogg, West of Greenwich.
Surveyor: Ruggles & Bohm, P.A.
Acreage: 3.28 acres
Lots: 11 lots

The applicant is requested the vacation of the east 16 feet of the platted 60-foot front yard located on and running parallel to the west property line of the LI Limited Industrial zoned Lot 1, Block A, Western Lithograph 2nd Addition and Hydraulic Avenue. The site is a corner lot with the short side of the lot being along its Hydraulic Avenue frontage. Per the Unified Zoning Code (UZC) the short side of a corner lot is the front side of the lot. Per the UZC the LI zoning district has a 20-foot minimum front yard setback. The applicant's requests reduces the platted 60-foot setback to 44 feet. A 10-foot wide platted easement runs through the south 10 feet of the subject setback; the easement that will remain in effect. Water, sewer and stormwater are located in the Hydraulic and Industrial Avenues right-of-way. Comments from franchised utilities have not been received and are needed to determine if they have utilities and/or easements located within the described setback. The Western Lithograph 2nd Addition was recorded April 12, 1985.

Based upon information available prior to the public hearing and reserving the right to make recommendations based on subsequent comments from City Public Works, Water & Sewer, Stormwater, Traffic, Fire, franchised utility representatives and other interested parties, Planning Staff has listed the following considerations (but not limited to) associated with the request to vacate the described portion of the platted front yard setback.

- (1) Provide a legal description of the vacated portion of the platted front yard setback on a Word document via E-mail for the Vacation Order. This must be provided to Planning prior to VAC2016-00019 proceeds to City Council for final action and subsequent recording with the Vacation Order at the Sedgwick County Register of Deeds.
- (2) As needed provide easements for public and franchised utilities. As needed provide letters from franchised utility representatives stating that their utilities are protected by the appropriate easements. Easements for public utilities, with original signatures, must be provided to Planning prior to VAC2016-00019 proceeds to the City Council for final action and subsequent recording with the Vacation Order at the Sedgwick County Register of Deeds.
- (3) Relocation/reconstruction of all utilities made necessary by this vacation shall be to City Standards and shall be the responsibility and at the expense of the applicants. Provide all required approved projects to Planning prior to VAC2016-00019 proceeds to the City Council for final action.
- (4) All improvements shall be according to City Standards and at the applicants' expense.
- (5) Per MAPC Policy Statement #7, all conditions are to be completed within one year of approval by the MAPC or the vacation request will be considered null and void. All vacation requests are not complete until the Wichita City Council or the Sedgwick County Board of County Commissioners have taken final action on the request and the vacation order and all required documents have been provided to the City, County and/or franchised utilities and the necessary documents have been recorded with the Register of Deeds



VAC2016-19 water, sewer, stormwater



Legend

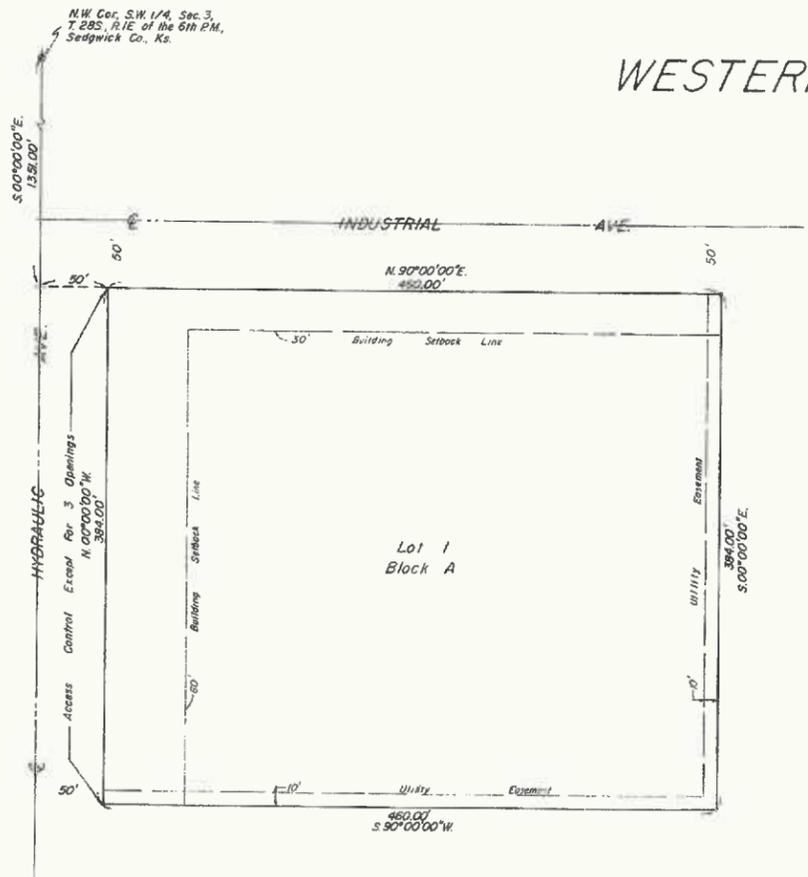
- Lot Number Labels
- Parcels
- Lot and Block
- Subdivisions
- Quarter Sections
- Case Tracking
- Historic Sites
 - Regional
 - State
 - State/National
- Zoning
 - AFB AIR FORCE BASE
 - B MULTI FAMILY
 - CBD CENTRAL BUSINESS DIST
 - GC GENERAL COMMERCIAL
 - GI GENERAL INDUSTRIAL
 - GO GENERAL OFFICE
 - IP INDUSTRIAL PARK
 - IP-A INDUSTRIAL PARK - AIRPOF
 - LC LIMITED COMMERCIAL
 - LI LIMITED INDUSTRIAL
 - MF-18 MULTI FAMILY
 - MF-29 MULTI FAMILY
 - MH MANUFACTURED HOUSING
 - NO NEIGHBORHOOD OFFICE
 - NR NEIGHBORHOOD RETAIL
 - OW OFFICE WAREHOUSE
 - PUD PLANNED UNIT DEVELOPM
 - RURAL RESIDENTIAL
 - SF-10 SINGLE FAMILY
 - SF-20 SINGLE FAMILY

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1: 1,553

Map Created On: 6/16/16 6:31 PM

WESTERN LITHOGRAPH SECOND ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS



This plat of "WESTERN LITHOGRAPH SECOND ADDITION" has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission.

Dated this 21st day of February, 1985.

WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION

William J. Knight Chairman

Robert A. Lakin Secretary

This plat has been approved and all dedications shown hereon, if any accepted by the City Commission of the City of Wichita, Kansas, this 19th day of MARCH, 1985.

Robert J. Knight Mayor

Donald C. Gist City Clerk

STATE OF KANSAS, COUNTY OF SEDGWICK, SS:

I, Don C. Moehring II, a Civil Engineer in said State and County, do hereby certify that I have surveyed and plotted, "WESTERN LITHOGRAPH SECOND ADDITION" to Wichita, Sedgwick County, Kansas, described as being a replat of Lot 1, Block A, Western Lithograph Addition to Wichita, Sedgwick County, Kansas, and also a tract described as beginning 1635.0' South and 50.0' East of the Northwest Corner of the SW 1/4 of Sec. 3, Township 28 South, Range 1 East of the 6th P.M., Sedgwick County, Kansas; thence East at right angles 460.0'; thence South at right angles 100.0'; thence West at right angles 460.0'; thence North at right angles 100.0' to beginning. The Easterly 60.0' building setback line, as plotted in Western Lithograph Addition to Wichita, is hereby vacated by virtue of K.S.A. 12-512(b).

Don C. Moehring II Don C. Moehring II Civil Engineer

Know all men by these presents that we the undersigned, property owners of the land as above set forth in the Civil Engineer's Certificate, have caused the same to be surveyed and plotted into a Lot and a Block, to be known as "WESTERN LITHOGRAPH SECOND ADDITION" to Wichita, Sedgwick County, Kansas. Easements for the construction and maintenance of public utilities, as indicated on the accompanying plat, are hereby granted. All abutter's rights of access to and from Hydraulic Avenue, over and across the West line of Lot 1, Block A, are hereby granted to the City of Wichita, provided however that Lot 1, Block A shall have access to Hydraulic Avenue at three locations as determined by the City Engineer.

BOARD OF CITY COMMISSIONERS OF THE CITY OF WICHITA, KANSAS

Robert J. Knight Mayor

Attest: Donald C. Gist City Clerk

STATE OF KANSAS, COUNTY OF SEDGWICK, SS:

The foregoing instrument acknowledged before me, this 20th day of February, 1985, by Robert C. Knight, Mayor of the City of Wichita, Kansas.

Robert C. Knight Notary Public

My App't Expires October 14, 1987

* 740722

STATE OF KANSAS, COUNTY OF SEDGWICK, SS:

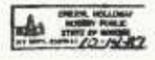
This is to certify that this instrument was filed for record in the Register of Deeds Office at 11:20 AM on the 12th day of April, 1985.

Pat Kettler Register of Deeds

Ed Ross Deputy

Entered on transfer record this 12th day of April, 1985.

Don Knight County Clerk



20.00

This digital plat record accurately reproduces in all details the original plat filed with the Sedgwick County Register of Deeds. Digitized under the supervision of Register of Deeds Bill Meek by Sedgwick County Geographic Information Systems.

Bill Meek, Register of Deeds
Deputy Registrar of Deeds

acre Lot 3, Block A, Walker Estates Addition. The plattor's text states the platted drainage reserve is for drainage and shall be owned and maintained by the owners of the lots they are located on, or until such time that the appropriate governing body elects to assume the responsibility for the maintaining and improvements to the drainage reserves. The plattor's text also states that no buildings shall be constructed in the drainage reserves and that no fill, change of grade, creation of channel or other work shall be done within the drainage reserves without the permission of the Engineer of the appropriate governing body. The proposed vacated portion of the drainage reserve appears to be located outside of the FEMA Flood Plains.

The applicant wishes to build a single-family residence and driveway within the proposed vacated drainage reserve. There is an existing single-family residence (built 1989) on the subject lot, Lot 3, Block A, Walker Estates Addition. If the vacation request is approved the applicant will need a Lot Split to build another single-family residence on the lot.

The site is located in Sedgwick County Rural Water District #4. Sewer is an on-site that serves the existing single-family residence and it appears to be septic; a separate on site sewer system will be needed for the proposed single-family residence. There are no utilities located within the area of the vacation. The Walker Estates Addition was recorded with the Register of Deeds March 18, 2004.

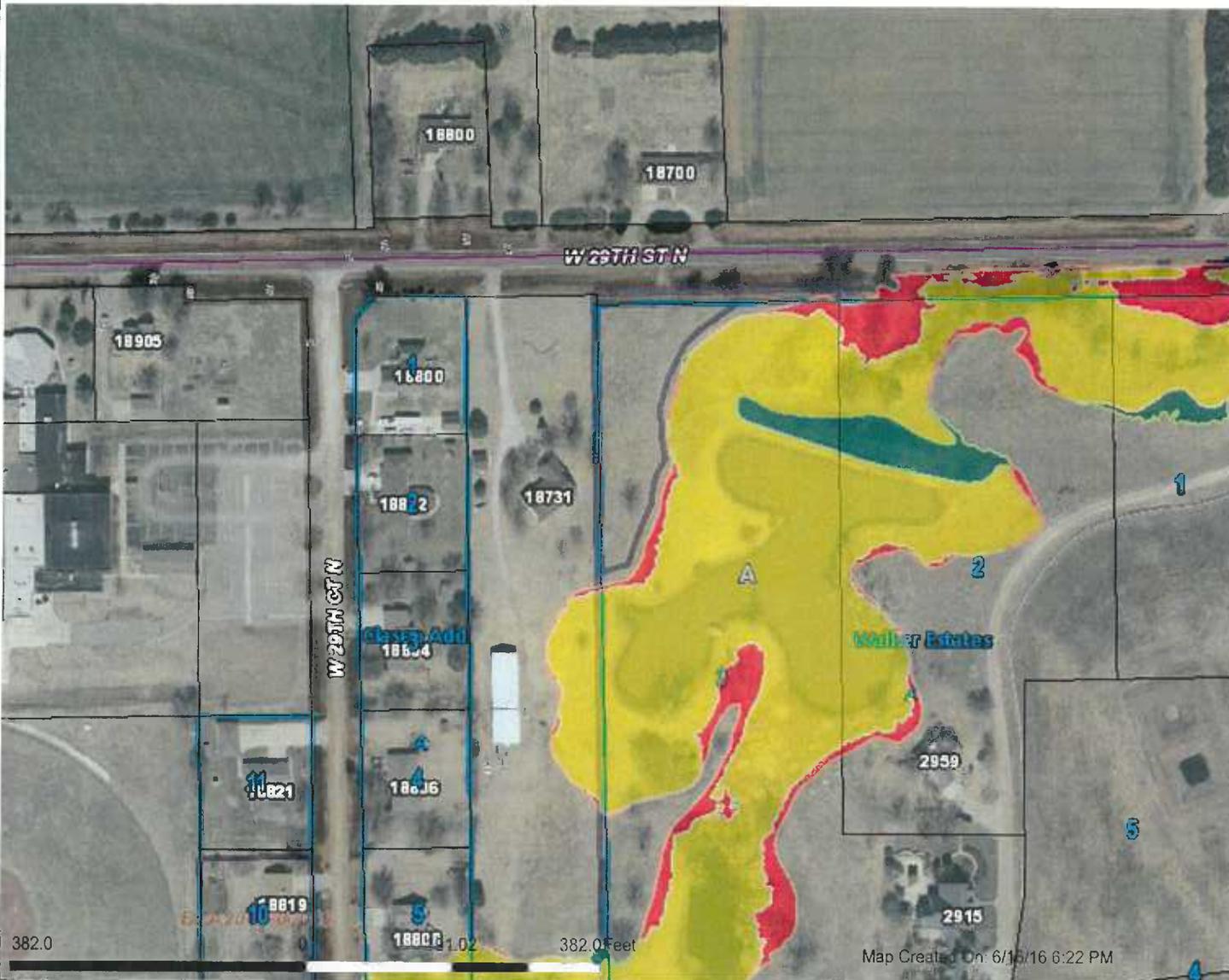
NOTE: VAC2016-00014 vacated a portion of platted access control to allow a drive from the subject site to 29th Street North; MAPC April 21, 2016.

Based upon information available prior to the public hearing and reserving the right to make recommendations based on subsequent comments from County Public Works, franchised utility representatives and other interested parties, Planning Staff has listed the following considerations (but not limited to) associated with the request to vacate the described portion of the platted drainage reserve.

- (1) Vacate that portion platted drainage reserve, as approved by County Public Works. Provide Planning Staff with a legal description of the approved vacated portion of the platted drainage reserve on a Word document, via e-mail, to be used on the Vacation Order and Vacation Petition. All Provide to Planning prior to the case going to the BoCC for final action.
- (2) Any relocation or reconstruction of utilities made necessary by this vacation shall be the responsibility of the applicants and at the applicants' expense.
- (3) All improvements shall be according to County Standards and at the applicant's expense, including all required County plans, permits, inspections and the construction of the drive onto 29th Street North and through the platted drainage reserve.
- (4) Per MAPC Policy Statement #7, all conditions are to be completed within one year of approval by the MAPC or the vacation request will be considered null and void. All vacation requests are not complete until the Wichita City Council or the Sedgwick County Board of County Commissioners have taken final action on the request and the vacation order and all required documents have been provided to the City, County and/or franchised utilities and the necessary documents have been recorded with the Register of Deeds.



VAC2016-20 Flood Plains



Legend

- Lot Number Labels
- Parcels
- Lot and Block
- Subdivisions
- Quarter Sections
- Case Tracking
- Historic Sites
 - ▨ Regional
 - ▨ State
 - ▨ State/National
- Zoning
 - AFB AIR FORCE BASE
 - B MULTI FAMILY
 - CBD CENTRAL BUSINESS DISTF
 - GC GENERAL COMMERCIAL
 - GI GENERAL INDUSTRIAL
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1: 2,292

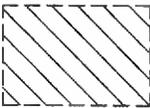


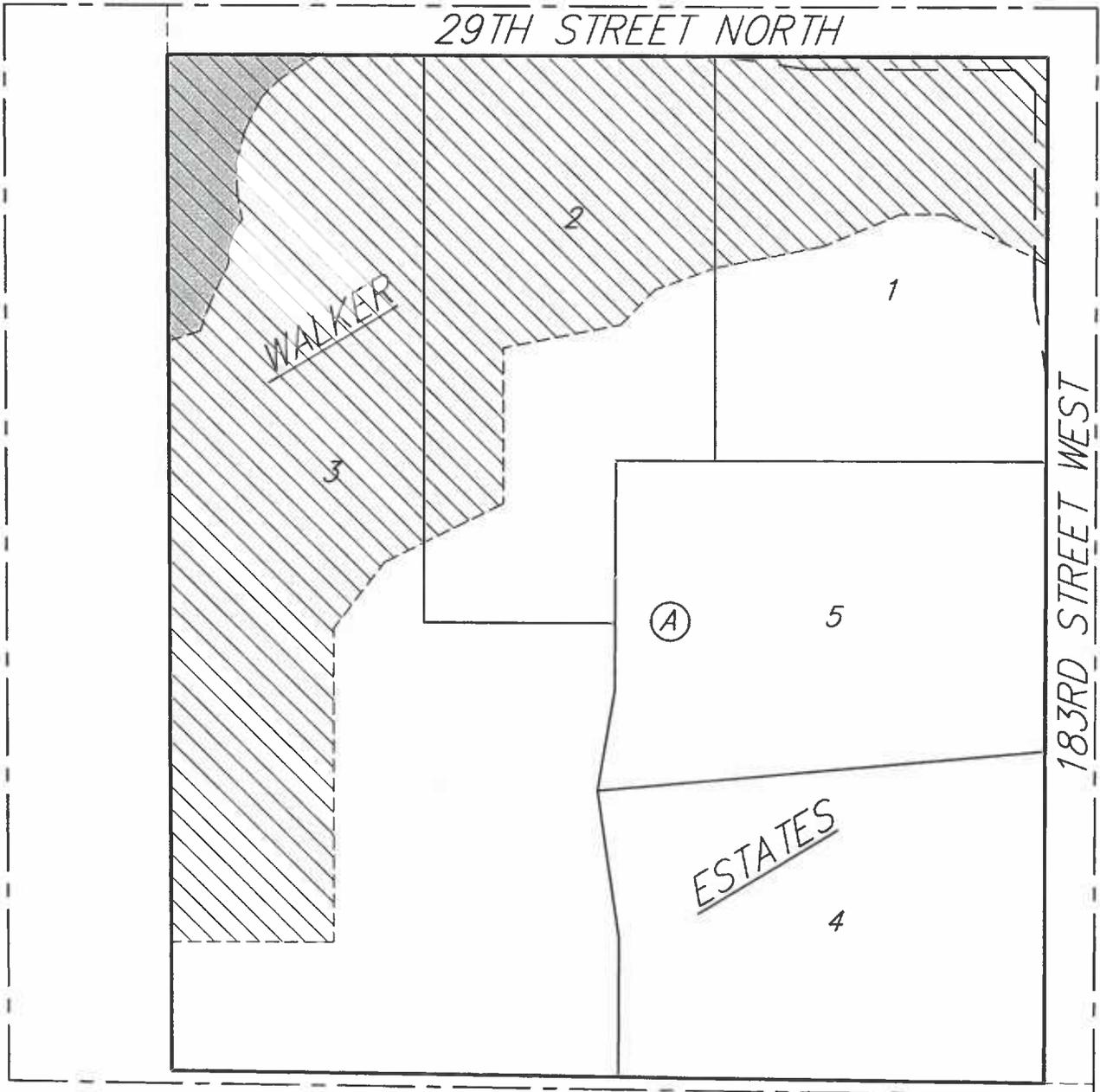
EXHIBIT

PART OF THE DRAINAGE RESERVE IN WALKER ESTATES, SEDGWICK COUNTY, KANSAS

Voc 2016-20

 INDICATES AREA OF LEGAL DESCRIPTION

 INDICATES AREA OF DRAINAGE RESERVE



26 MAY 2016

 **Baughman Company, P.A.**
315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0149
Baughman ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE



BAUGHMAN
BETTER BY [DESIGN]

VAC 2016-25

24 May 2016

WALKER ESTATES
DRAINAGE RESERVE VACATION
LEGAL DESCRIPTION

That part of the drainage reserve lying in Lot 3, Block A, Walker Estates, Sedgwick County, Kansas described as follows: Beginning at the northwest corner of said Lot 3; thence N90°00'00"E along the north line of said Lot 3, 182.10 feet; thence S57°21'28"W, 56.24 feet; thence S44°56'16"W, 28.70 feet; thence S26°49'51"W, 46.45 feet; thence S15°18'16"W, 38.29 feet; thence S01°06'00"E, 37.59 feet; thence S10°16'02"E, 32.99 feet; thence S30°43'07"W, 20.23 feet; thence S16°19'09"W, 20.64 feet; thence S00°38'34"W, 16.13 feet; thence S24°43'28"W, 52.58 feet; thence S19°37'47"W, 36.14 feet; thence S72°06'20"W, 40.07 feet to a point on the west line of said Lot 3; thence N00°14'07"W along the west line of said Lot 3, 346.51 feet to the point of beginning.

Containing 29626.6 Sq. Ft. or 0.680 Acres, more or less.



STAFF REPORT

CASE NUMBER: VAC2016-00021 - Request to vacate a portion of platted public street right-of-way

APPLICANT/AGENT: Southwest Baptist Church & Via Fone Inc. (applicants) J P Weigand & Sons, c/o Grant Tidemann & Baughman Company, c/o Phil Meyer (agents)

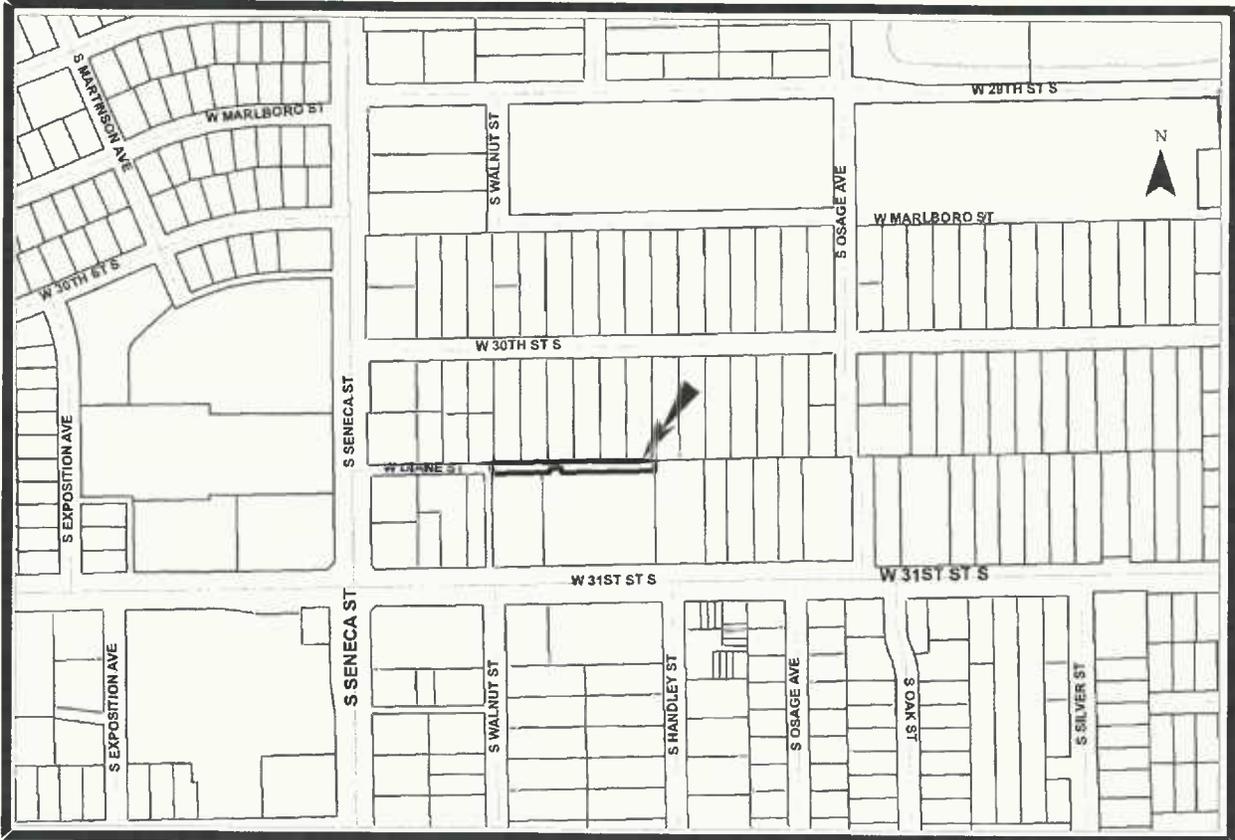
LEGAL DESCRIPTION: Generally described as vacating a 30-foot wide (x) 332.15-foot long portion of Diane Street dedicated on the Leonard A. Garnett Addition and the Southwest Baptist Church Addition, Wichita, Sedgwick County, Kansas

LOCATION: Generally located east of Seneca Street and north of 31st Street South (WCC III)

REASON FOR REQUEST: Street has never been improved and has remained 30 feet wide

CURRENT ZONING: Abutting west adjacent properties are zoned SF-5 Single-Family Residential. Abutting north properties are zoned SF-5 and abutting south properties are zoned LC Limited Commercial and SF-5. Abutting west side is 30-foot wide Diane Street and 20-foot wide alley intersection

VICINITY MAP:



The applicants are requesting the vacation of a 30-foot wide (x) 332.15-foot long portion of Diane Street dedicated on the Leonard A. Garnett Addition and the Southwest Baptist Church Addition. The half-street right-of-way dead ends against multiple unplatted SF-5 Single-Family Residential zoned property on its east side, leaving it approximately 525 feet short of intersecting with the nearest street to the east, Osage Street. There are at least four single-family residences (built 1950, 1951 and 1953) located on those tracts. The abutting north SF-5 zoned properties were platted as part of the Robson Heights Addition, recorded July 25, 1950. This portion of Diane Street was platted in the Leonard A. Garnett Addition, recorded with the Register of Deeds January 21, 1986, and the Southwest Baptist Church Addition, recorded February 29, 1968. Both of the applicants' properties, which dedicated the described portion of Diane Street, were platted 18-36 years after the north and east abutting properties were either platted or developed as single-family residences. There has been no opportunity for this portion of Diane Street to acquire an additional 30 feet of right-of-way from the abutting north properties or to extend further east to Osage Avenue through the abutting east properties. The proposed vacation will not create a dead end, as the remaining paved 30-foot wide portion of Diane Street intersects with Seneca Street on its west side and with a paved 20-foot wide alley on its east side, which in turn intersects with 31st Street South. No properties will be denied access to public right of way and circulation in the area will remain as it is now. No public water, sewer, stormwater, nor hydrants are located in the subject right-of-way. Comments from franchised utilities have not been received and are needed to determine if they have utilities and/or easements located within the described public street right-of-way.

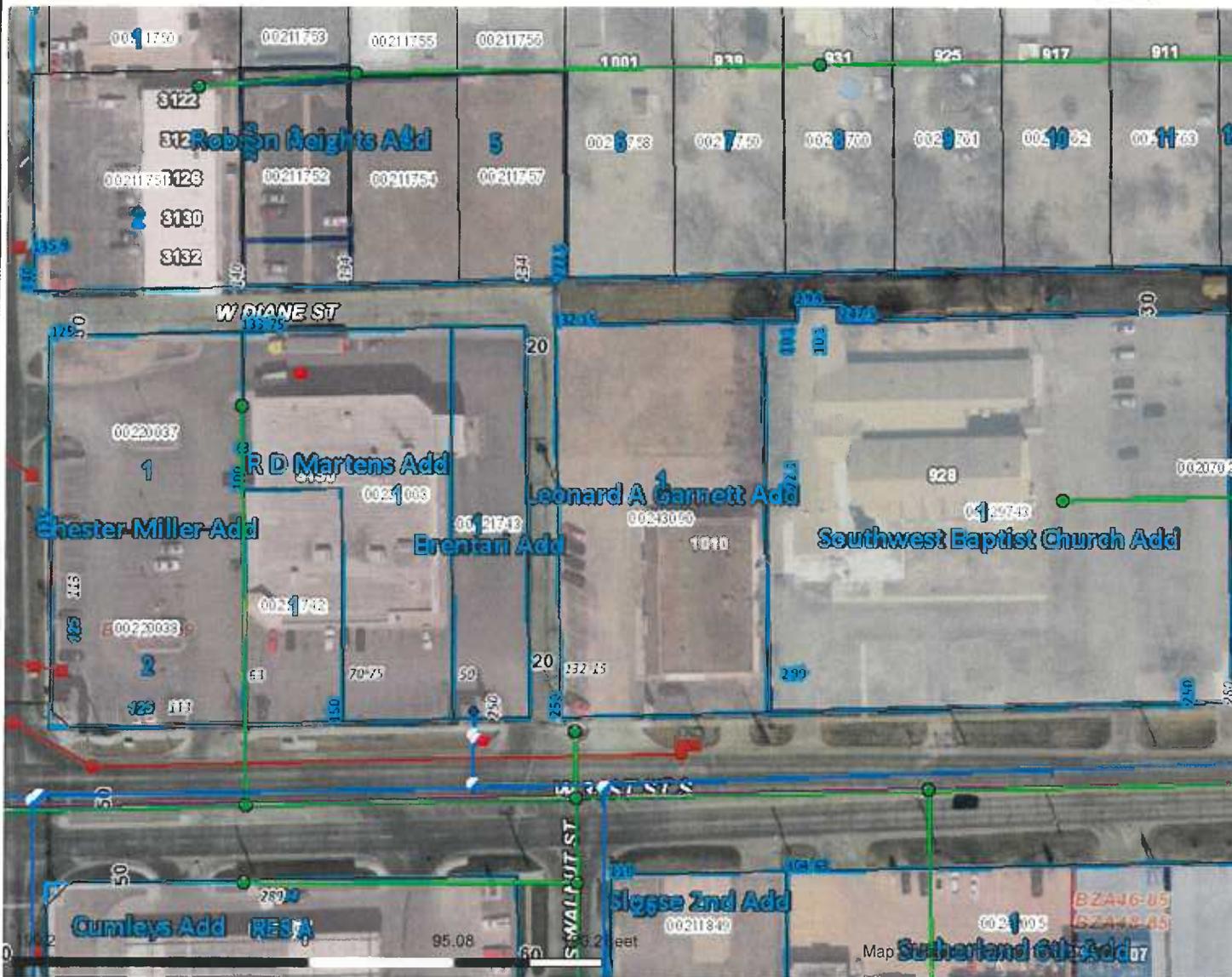
Based upon information available prior to the public hearing and reserving the right to make recommendations based on subsequent comments from City Public Works, Water & Sewer, Stormwater, Traffic, Fire, franchised utility representatives and other interested parties, Planning Staff has listed the following considerations (but not limited to) associated with the request to vacate the described portion of public street right-of-way.

- (1) Vacate the described portion of the Diane Street public street right-of-way. Provide Planning with a legal description of the vacated right-of-way on a Word document, via E-mail to be used on the Vacation Order. This must be provided to Planning prior to VAC2016-00021 proceeding to City Council for final action
- (2) Provide a covenant, with original signatures, binding and tying the described vacated public street right-of-way to the applicant's abutting property. This must be provided to Planning prior to VAC2016-00021 proceeding to City Council for final action and subsequent recording with the Vacation Order at the Sedgwick County Register of Deeds and the Sedgwick County Appraisers Office.
- (3) If needed dedicate the described vacated portion of Diane Street as easement(s) by separate instrument to cover all utilities. The original dedication must be provided to Planning prior to VAC2016-00021 proceeds to City Council for final action and subsequent recording with the Register of Deeds.
- (4) If needed provide utilities with any needed project plans for the relocation of utilities for review and approval. Any relocation/reconstruction of utilities made necessary by this vacation shall be to City Standards and shall be the responsibility and at the expense of the applicants. Provide an approved project number(s) to Planning prior to the case going to City Council for final action.
- (5) All improvements shall be according to City Standards and at the applicants' expense.

- (6) Per MAPC Policy Statement #7, all conditions are to be completed within one year of approval by the MAPC or the vacation request will be considered null and void. All vacation requests are not complete until the Wichita City Council or the Sedgwick County Board of County Commissioners have taken final action on the request and the vacation order and all required documents have been provided to the City, County and/or franchised utilities and the necessary documents have been recorded with the Register of Deeds.



VAC2016-21 water, sewer, stormwater



Legend

- Lot Number Labels
- Parcels
- Lot and Block
- Subdivisions
- Quarter Sections
- Case Tracking
- Historic Sites
 - Regional
 - State
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- Zoning
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1: 1,141



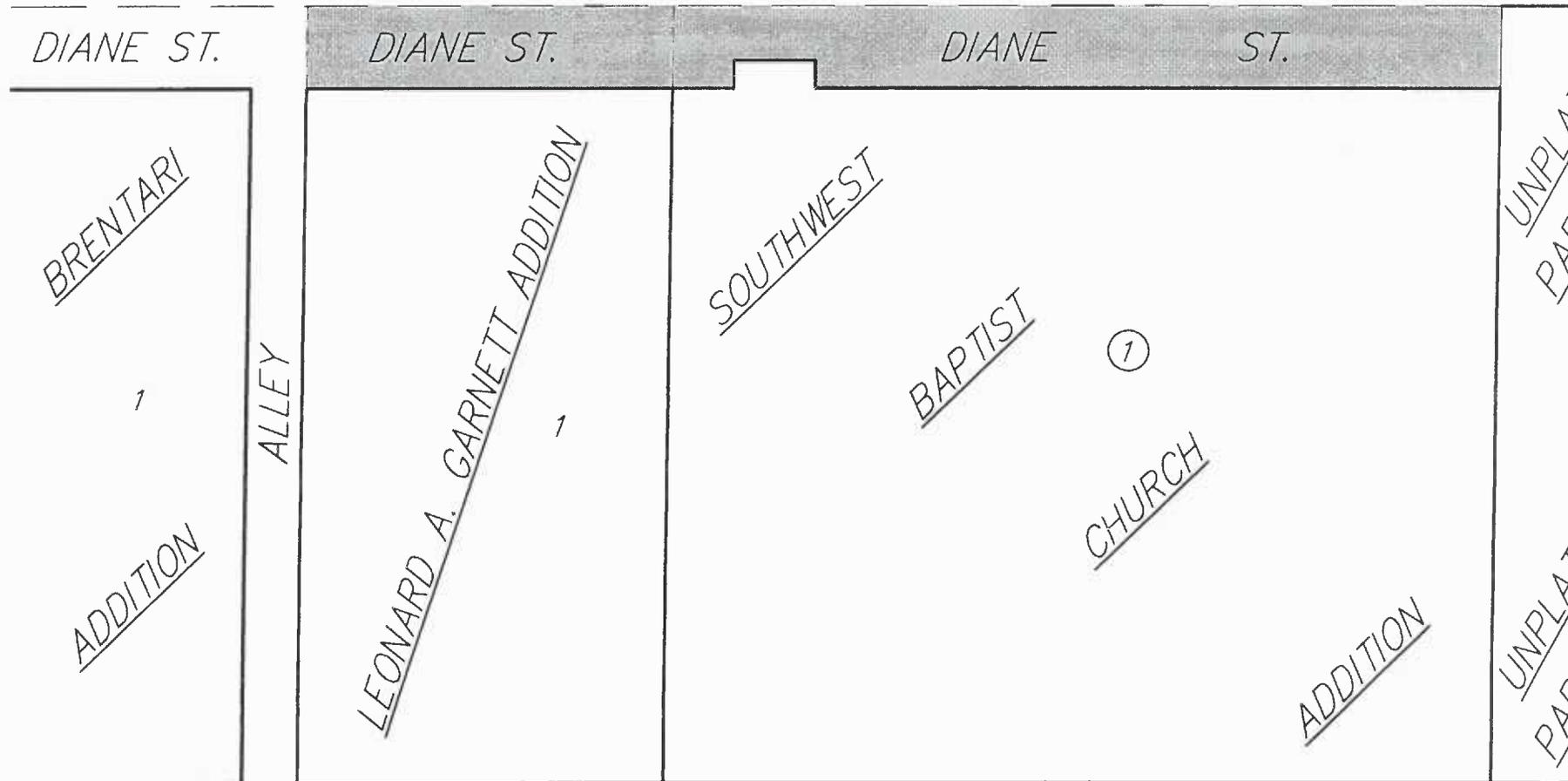
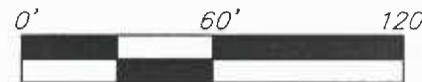
EXHIBIT

UPC2016-21

**ALL OF DIANE ST. IN LEONARD A. GARNETT ADDITION
AND IN SOUTHWEST BAPTIST CHURCH ADDITION,
WICHITA, SEDGWICK COUNTY, KANSAS**



INDICATES AREA OF
LEGAL DESCRIPTION



31ST STREET SOUTH

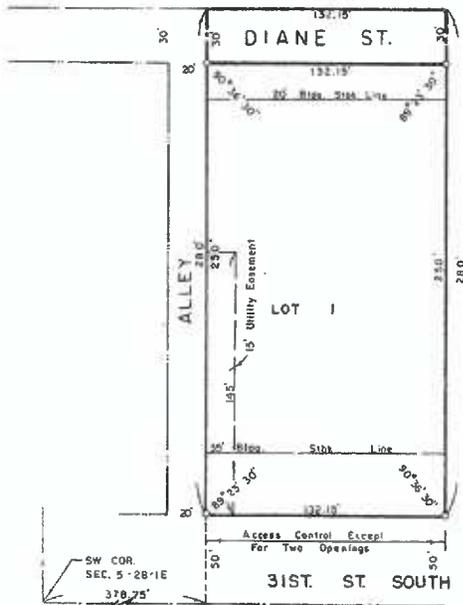
26 MAY

B Baughman Company, P.A.
315 Ellis St. Wichita, KS 67211 P 316.263.7271 F 316.263.7272
Baughman ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

4-33

LEONARD A. GARNETT

WICHITA, SEDGWICK COUNTY, KAN.



UAC 2016-21

This plat of "Leonard A. Garnett Addition", Wichita, Sedgwick County, Kansas has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this 25th day of NOVEMBER, 1985.

Wichita-Sedgwick County Metropolitan Area Planning Commission

William J. Goebel, Chairman
William J. Goebel

Michael E. Lindsey, Secretary
Michael E. Lindsey

This plat approved and all dedications shown hereon, if any, accepted by the Board of City of Wichita, Kansas, this 9th day of JANUARY, 1986.

Robert C. Brown, Mayor
Robert C. Brown

Donald C. Gistick, City Clerk
Donald C. Gistick



786

Entered on transfer record this 21st day of Jan, 1986

Don Wright, County Clerk
Don Wright

State of Kansas, County of Sedgwick, SS.

This is to certify that this instrument was filed for record in the Register of Deeds Office, at 9 o'clock, A.m., on the 21st day of January, 1985/1986

Pat Kettler, Register of Deeds
Pat Kettler

Ed Reso, Deputy
Ed Reso



20.00

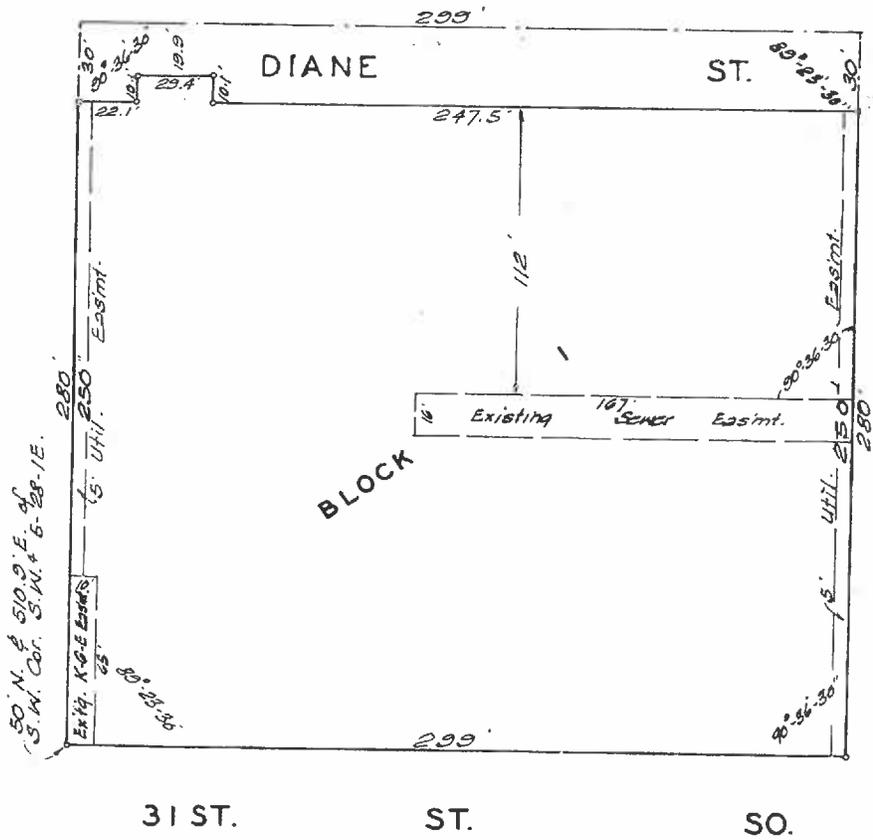
A 4-33



This digital plat record accurately reproduces in all details the original plat filed with the Sedgwick County Register of Deeds. Digitized under the supervision of Register of Deeds Bill Meek by Sedgwick County Geographic Information Systems.

Bill Meek, Register of Deeds
Digitized rendition of original signature

UAC2016-21



State of Kansas } s.s. Be
 Sedgwick County }
 that on this 22nd day of
 1963, before me a notary
 and for said county
 Carl Duncan, Lawrence
 and Sherman Campbell
 the Southwest Baptist
 me known to be the
 who executed the fe
 ment of writing and
 ledged the execution.
 In testimony where
 unto set my hand and
 notarial seal the day
 written.

Julia J. Drane
 My Comm. Exp. 3-16-65

This plat
 BAPTIST CHURCH AL
 been submitted to ar
 by the Wichita-Sedg
 Metropolitan Area P.
 mission and is hereby i
 the Board of City Com
 with the recommenda
 plat be approved as p
 this 7 day of Nov
 The Wichita-Sedgwick
 politan Area Planning

Charles G. ...
 CHARLES G. ...
Leland R. ...
 LELAND R. ...

Approve
 of City Commissioners
 day of February 1968
Clarence E. ...
 CLARENCE E. ...
Ralph C. ...
 RALPH C. ...

Approva
 of County Commissione
 day of ...
 Elmer Peters, Elmer Peters
 Earl Rush, Earl Rush
 Tom Scott, Tom Scott
Marie Warden County
 Marie Warden

Entered
 record this 29th day
 1968.

Marie Warden
 Marie Warden

State of Kansas } ...

State of Kansas } s.s. I, Clyde M. Baughman,
 Sedgwick County }
 Surveyor in aforesaid county and state
 do hereby certify that I have sur-
 veyed and platted "SOUTHWEST
 BAPTIST CHURCH ADDITION" to
 Wichita, Kansas and that the acc-
 ompanying plat is a true and corr-
 ect exhibit of the property surveyed
 described as follows: Beginning 50
 feet north and 510.9 feet east of the
 S.W. Cor. of S.W. 1/4 Sec. 5, T-28-S;
 R-1-E; thence north parallel with
 the west line of said 1/4 Sec. 280 feet;
 thence east parallel with the south
 line of said 1/4 Sec. 299 feet; thence
 south 280 feet; thence west 299
 feet to the place of beginning.

Clyde M. Baughman Surveyor
 Clyde M. BAUGHMAN

Know all men by these
 presents that the Southwest Baptist
 Church by Carl Duncan, Lawrence
 Dieffenbaugh and Sherman Campbell,
 Trustees, have caused the land de-
 scribed in the surveyors certificate
 to be platted into a block to be
 known as "SOUTHWEST BAPTIST
 CHURCH ADDITION" to Wichita,
 Kansas



STAFF REPORT
(Final Plat, Preliminary Plat Approved 4/14/16)

CASE NUMBER: SUB2016-00013 – TIFFANI BREEZE ADDITION

OWNER/APPLICANT: TCRS, LLC., 401 West 47th Street South, Wichita, KS 67217

SURVEYOR/AGENT: Abbott Land Survey, 520 South Holland, Suite 103, Wichita, KS 67209

LOCATION: North side of East 71st Street South, East of South 127th Street East (County District V)

SITE SIZE: 40 acres

NUMBER OF LOTS

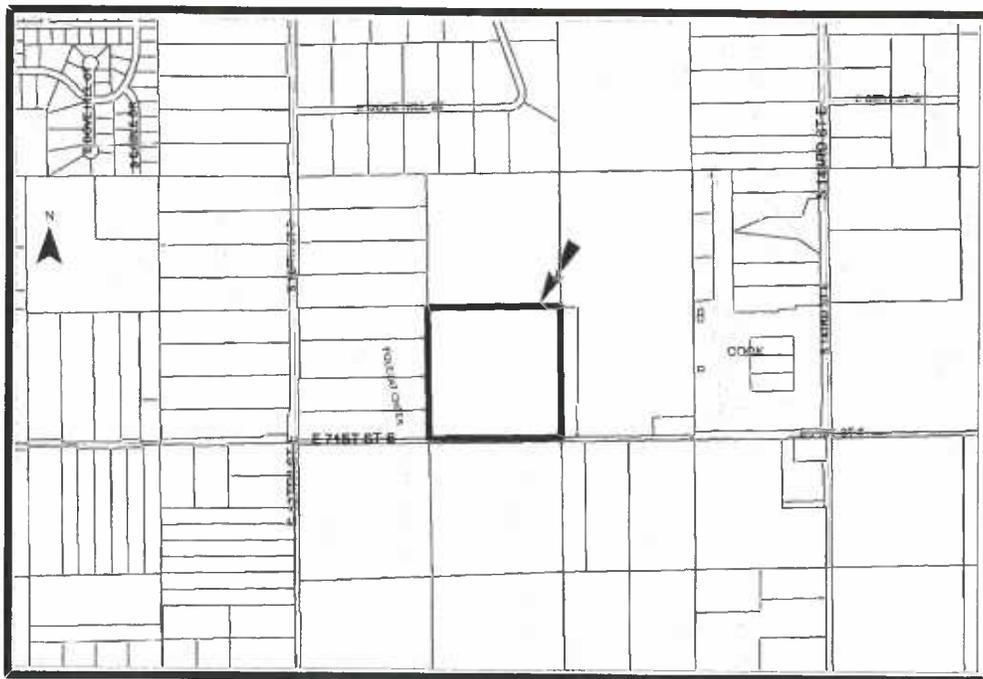
Residential:	18
Office:	
Commercial:	
Industrial:	
Total:	18

MINIMUM LOT AREA: 1.5 acres

CURRENT ZONING: Rural Residential (RR)

PROPOSED ZONING: Single-Family Residential (SF-20)

VICINITY MAP



SUB2016-00013 – Final Plat of TIFFANI BREEZE ADDITION
June 23, 2016 - Page 2

NOTE: This is unplatted property located in the County. It is designated as “rural area” by the Community Investments Plan 2015-2035. The applicant proposes a zone change (ZON2016-00023) from Rural Residential to Single-Family Residential (SF-20).

The Subdivision Committee may recommend a modification of the design criteria in Article 7 of the Subdivision Regulations only if it finds that the strict application of the design criteria will create an unwarranted hardship, the proposed modification is in harmony with the intended purpose of the Subdivision Regulations and the public safety and welfare will be protected.

STAFF COMMENTS:

- A. This plat will be subject to approval of the associated zone change and any related conditions of such a change. Prior to this plat being released for the Board of County Commissioners, the zone change will need to be approved to allow for the lot sizes being platted.
- B. Since sanitary sewer is unavailable to serve this property, the applicant shall contact Metropolitan Area Building and Construction Department to find out what tests may be necessary and what standards are to be met for approval of on-site sewerage facilities. A memorandum shall be obtained specifying approval.
- C. The site is currently located within the Sedgwick County Rural Water District No. 3. If service is available, feasible and the property is eligible for service, Metropolitan Area Building and Construction Department recommends connection.
- D. If improvements are guaranteed by petition(s), a notarized certificate listing the petition(s) along with the corresponding dollar amounts shall be submitted to the Planning Department for recording.
- E. County Engineering has received a drainage concept and requests a drainage plan.
- F. County Public Works advises the existing crossroad structure on 71st Street South will need to be relocated to avoid conflict with Suzette Drive or the eastern Suzette Drive will need to be relocated.
- G. The plat denotes two street openings along 71st Street South. Dimensions are needed along segments of complete access control.
- H. The applicant shall guarantee the installation of the proposed loop street to the 32-foot suburban street standard.
- I. The Applicant has provided a 70-foot ingress/egress easement and contingent dedication of street right-of-way extending to the north line of the plat in order to provide potential street connection to adjoining properties.
- J. The ingress/egress easement shall be established by separate instrument. Initial construction responsibilities and future maintenance of the driveway within the easement should also be addressed by the text of the instrument.
- K. GIS requests that the developer split the road name between Lots 7 and 8 of Block B. Suzanne is acceptable, but a second name is needed for one of the north/south streets and also needs referenced in the plat's text.

SUB2016-00013 – Final Plat of TIFFANI BREEZE ADDITION
June 23, 2016 - Page 3

- L. Sedgwick County Fire Department advises that the plat will need to comply with the Sedgwick County Service Drive Code.
- M. In accordance with the Kansas Wetland Mapping Conventions under the Memorandum of Understanding between the United States Department of Agriculture - Natural Resources Conservation Service; United States Environmental Protection Agency; United States Army Corps of Engineers (USACE); and United States Fish and Wildlife Service, this site has been identified as one with potential wetland hydrology. The USACE should be contacted (316-322-8247) to have a wetland determination completed.
- N. The owner's signature block and acknowledgment should state the representative capacity of Paul Wedman (e.g. "managing member").
- O. County Surveying and MAPD requests review of a pdf prior to mylar submittal. Send to tricia.robello@sedgwick.gov and nstrahl@wichita.gov.
- P. "Preliminary plat" shall be deleted from the title block.
- Q. The applicant shall install or guarantee the installation of all utilities and facilities that are applicable and described in Article 8 of the MAPC Subdivision Regulations. (Water service and fire hydrants required by Article 8 for fire protection shall be as per the direction and approval of the Chief of the Fire Department.)
- R. The Register of Deeds requires all names to be printed beneath the signatures on the plat and any associated documents.
- S. Prior to development of the plat, the applicant is advised to meet with the United States Postal Service Growth Management Coordinator (Phone: 316-946-4556) in order to receive mail delivery without delay, avoid unnecessary expense and determine the type of delivery and the tentative mailbox locations.
- T. The applicant is advised that various State and Federal requirements (specifically but not limited to the Army Corps of Engineers, Kanopolis Project Office, Route 1, Box 317, Valley Center, KS 67147) for the control of soil and wind erosion and the protection of wetlands may impact how this site can be developed. It is the applicant's responsibility to contact all appropriate agencies to determine any such requirements.
- U. The owner of the subdivision should note that any construction that results in earthwork activities that will disturb one acre or more of ground cover requires a Federal/State National Pollutant Discharge Elimination System Stormwater Discharge Permit from the Kansas Department of Health and Environment in Topeka. Also, for projects located within the City of Wichita, erosion and sediment control devices must be used on ALL projects. For projects outside of the City of Wichita, but within the Wichita metropolitan area, the owner should contact the appropriate governmental jurisdiction concerning erosion and sediment control device requirements.
- V. Perimeter closure computations shall be submitted with the final plat tracing.
- W. The applicant should check City or County GIS mapping to determine whether the location of any taxing district boundaries (e.g. school districts) crosses their property and plan accordingly to avoid unnecessary splitting of lots between taxing districts.

SUB2016-00013 – Final Plat of TIFFANI BREEZE ADDITION
June 23, 2016 - Page 4

- X. Any removal or relocation of existing equipment of utility companies will be at the applicant's expense.
- Y. A compact disk (CD) should be provided, which will be used by the City and County GIS Departments, detailing the final plat in digital format in AutoCAD. Please include the name of the plat on the disk. If a disk is not provided, please send the information via e-mail to Kathy Wilson (e-mail address: kwilson@wichita.gov).

STAFF REPORT
(Preliminary Plat)

CASE NUMBER: SUB2016-00021 – BROOKFIELD ADDITION

OWNER/APPLICANT: 37th and Greenwich, LLC, Attn: Kevin Mullen, 8100 East 22nd Street North, Building 1000, Wichita, KS 67226

SURVEYOR/AGENT: Baughman Company, P.A., Attn: Kris Rose, 315 Ellis, Wichita, KS 67211

LOCATION: Southeast corner of East 37th Street North and North Greenwich Road (District II)

SITE SIZE: 118 acres

NUMBER OF LOTS

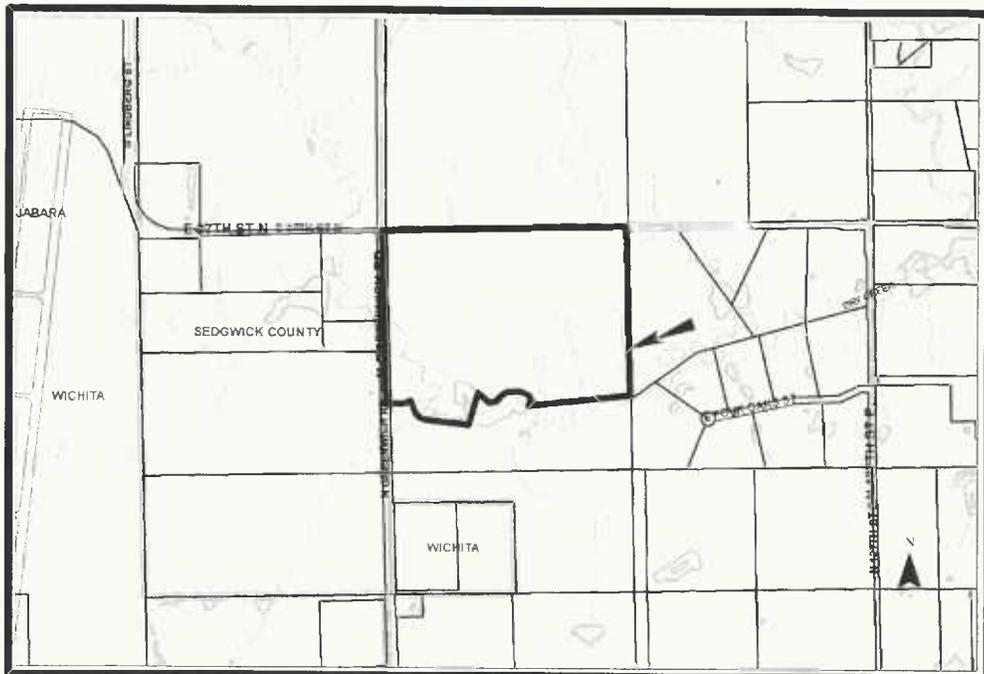
Residential:	186
Office:	
Commercial:	
Industrial:	
Total:	<u>186</u>

MINIMUM LOT AREA: 9,450 square feet

CURRENT ZONING: Rural Residential (RR)

PROPOSED ZONING: Single-Family Residential (SF-5)

VICINITY MAP



SUB2016-00021 – Preliminary Plat of BROOKFIELD ADDITION
June 23, 2016 - Page 2

NOTE: This unplatted site is located in the County 322 feet north of Wichita's boundary. Upon the annexation of the property to the south (also owned by the applicant), this property will be eligible for annexation. The site is currently zoned Rural Residential (RR) and will be converted to Single-Family Residential (SF-5) upon annexation.

The Subdivision Committee may recommend a modification of the design criteria in Article 7 of the Subdivision Regulations only if it finds that the strict application of the design criteria will create an unwarranted hardship, the proposed modification is in harmony with the intended purpose of the Subdivision Regulations and the public safety and welfare will be protected.

STAFF COMMENTS:

- A. Upon the annexation of the property to the south, the applicant for this plat shall apply for annexation to Wichita prior to this plat being forwarded to the City Council. Upon annexation, the property will be zoned Single-Family Residential (SF-5) and allow for the lot sizes being platted.
- B. City of Wichita Public Works and Utilities Department requires a guarantee for the extension (mains and lateral) of water and sewer to serve all the lots being platted.
- C. On the final plat, the platator's text shall include language that "No signs, light poles, private drainage systems, masonry trash enclosures or other structures shall be located within public utility easements."
- D. The platator's text shall include language that the utility easements are hereby granted as indicated for the construction and maintenance of all public utilities.
- E. The platator's text shall include language that the drainage and utility easements are hereby granted as indicated for drainage purposes and for the construction and maintenance of all public utilities.
- F. The platator's text shall include language that the drainage easements are hereby granted as indicated for drainage purposes.
- G. If improvements are guaranteed by petition(s), a notarized certificate listing the petition(s) along with the corresponding dollar amounts shall be submitted to the Planning Department for recording.
- H. City/County Stormwater Management advises the applicant needs to submit a drainage plan for review.
- I. Standard floodplain language is needed in the platator's text: "FEMA floodplain and regulatory floodway boundaries are subject to periodic change and such change may affect the intended land use within the subdivision".
- J. County Public Works advises the plat shall restrict the access to 37th Street North to emergency vehicles until the pavement is installed. Emergency access openings at Bristol and Bedford shall be labelled on the plat as converting to full movement openings upon the paving of 37th Street North.
- K. County Public Works has approved the access controls. The plat proposes two street openings along 37th Street North and one street opening along Greenwich Road.

SUB2016-00021 – Preliminary Plat of BROOKFIELD ADDITION
June 23, 2016 - Page 3

- L. The platlor's text shall note the dedication of the streets to and for the use of the public.
- M. Crest/Venice located in the northwestern corner of the plat is a one-block street segment with 19 lots on the north and west side of the street. The Subdivision Regulations indicate that no more than 12 lots per side in one block should be served by a 58-foot street segment. The Subdivision Committee will need to approve a modification.
- N. Brookview Court located in the southeastern portion of the plat is a one block street segment with 25 lots. The Subdivision Regulations indicate that no more than 24 lots in one block should be served by a 58-foot street segment. The Subdivision Committee will need to approve a modification.
- O. The Applicant shall guarantee the paving of the proposed streets. The guarantee shall also provide for sidewalks on at least one side of all through, non cul-de-sac streets.
- P. In accordance with the Kansas Wetland Mapping Conventions under the Memorandum of Understanding between the United States Department of Agriculture - Natural Resources Conservation Service; United States Environmental Protection Agency; United States Army Corps of Engineers (USACE); and United States Fish and Wildlife Service, this site has been identified as one with potential wetland hydrology. The USACE should be contacted (316-322-8247) to have a wetland determination completed.
- Q. The final plat shall state in the platlor's text the purposes of the proposed reserves as well as the ownership and maintenance responsibilities.
- R. The applicant informed staff the numbered reserves have been platted for drainage reserve purposes. The platlor's text shall specify: "The numbered reserves are hereby reserved for drainage reserve purposes and shall be the responsibility of the owners of each lot, respectively, until such time as the appropriate governing body elects to assume the responsibility for maintenance and improvements to the drainage."
- S. Provisions shall be made for ownership and maintenance of the proposed reserves. The applicant shall either form a lot owners' association prior to recording the plat or shall submit a restrictive covenant stating when the association will be formed, when the reserves will be deeded to the association and who is to own and maintain the reserves prior to the association taking over those responsibilities.
- T. For those reserves being platted for drainage purposes, the required covenant that provides for ownership and maintenance of the reserves, shall grant to the appropriate governing body the authority to maintain the drainage reserves in the event the owner(s) fail to do so. The covenant shall provide for the cost of such maintenance to be charged back to the owner(s) by the governing body.
- U. City Fire Department has approved the street length of Brookview Ct. (1,330 feet) which has been platted with an intermediate turnaround.
- V. The applicant shall submit an avigational easement covering all of the subject plat and a restrictive covenant assuring that adequate construction methods will be used to minimize the effects of noise pollution in the habitable structures constructed on subject property.
- W. The street right-of-way width needs shown for Brookview Ct serving Lots 52-76.

SUB2016-00021 – Preliminary Plat of BROOKFIELD ADDITION
June 23, 2016 - Page 4

- X. Approval of this plat will require a waiver of the lot depth-to-width ratio of the Subdivision Regulations for various lots at the end of cul-de-sacs. The Subdivision Regulations state that the maximum depth of all residential lots shall not exceed 2.5 times the width.
 - Y. GIS has advised that Milan Ct needs revised to Milan Cir. Venice needs to be renamed. Brookview needs changed to Bristol at Lot 52, Block F and continue north.
 - Z. City Environmental Health Division advises that any wells installed on the property for irrigation purposes will have to be properly permitted, installed and inspected.
 - AA. County Surveying and MAPD requests review of a pdf prior to mylar submittal. Send to tricia.robello@sedgwick.gov and nstrahl@wichita.gov.
 - BB. The Applicant is reminded that a platting binder is required with the final plat. Approval of this plat will be subject to submittal of this binder and any relevant conditions found by such a review.
 - CC. The plat's text shall include language that a drainage plan has been developed for the plat and that all drainage easements, rights-of-way, or reserves shall remain at established grades or as modified with the approval of the applicable City or County Engineer and unobstructed to allow for the conveyance of stormwater.
 - DD. The applicant shall install or guarantee the installation of all utilities and facilities that are applicable and described in Article 8 of the MAPC Subdivision Regulations. (Water service and fire hydrants required by Article 8 for fire protection shall be as per the direction and approval of the Chief of the Fire Department.)
 - EE. The Register of Deeds requires all names to be printed beneath the signatures on the plat and any associated documents.
 - FF. Prior to development of the plat, the applicant is advised to meet with the United States Postal Service Growth Management Coordinator (Phone: 316-946-4556) in order to receive mail delivery without delay, avoid unnecessary expense and determine the type of delivery and the tentative mailbox locations.
 - GG. The applicant is advised that various State and Federal requirements (specifically but not limited to the Army Corps of Engineers, Kanopolis Project Office, Route 1, Box 317, Valley Center, KS 67147) for the control of soil and wind erosion and the protection of wetlands may impact how this site can be developed. It is the applicant's responsibility to contact all appropriate agencies to determine any such requirements.
 - HH. The owner of the subdivision should note that any construction that results in earthwork activities that will disturb one acre or more of ground cover requires a Federal/State National Pollutant Discharge Elimination System Stormwater Discharge Permit from the Kansas Department of Health and Environment in Topeka. Also, for projects located within the City of Wichita, erosion and sediment control devices must be used on ALL projects. For projects outside of the City of Wichita, but within the Wichita metropolitan area, the owner should contact the appropriate governmental jurisdiction concerning erosion and sediment control device requirements.
- II. Perimeter closure computations shall be submitted with the final plat tracing.

SUB2016-00021 – Preliminary Plat of BROOKFIELD ADDITION
June 23, 2016 - Page 5

- JJ. The applicant should check City or County GIS mapping to determine whether the location of any taxing district boundaries (e.g. school districts) crosses their property and plan accordingly to avoid unnecessary splitting of lots between taxing districts.
- KK. Westar Energy requests additional utility easements to be platted on this property. Any removal or relocation of existing equipment of utility companies will be at the applicant's expense.
- LL. A compact disk (CD) should be provided, which will be used by the City and County GIS Departments, detailing the final plat in digital format in AutoCAD. Please include the name of the plat on the disk. If a disk is not provided, please send the information via e-mail to Kathy Wilson (e-mail address: kwilson@wichita.gov).

STAFF REPORT
(One-Step Final Plat)

CASE NUMBER: SUB2016-00020 – TYLER’S LANDING 6TH ADDITION

OWNER/APPLICANT: R & R Realty, LLC, Attn: Jay Russell, P.O. Box 75337, Wichita, KS 67275-0337

SURVEYOR/AGENT: Baughman Company, P.A., Attn: Kris Rose, 315 Ellis, Wichita, KS 67211

LOCATION: Southeast corner of North Tyler Road and West 37th Street North (District V)

SITE SIZE: 1.4 acres

NUMBER OF LOTS

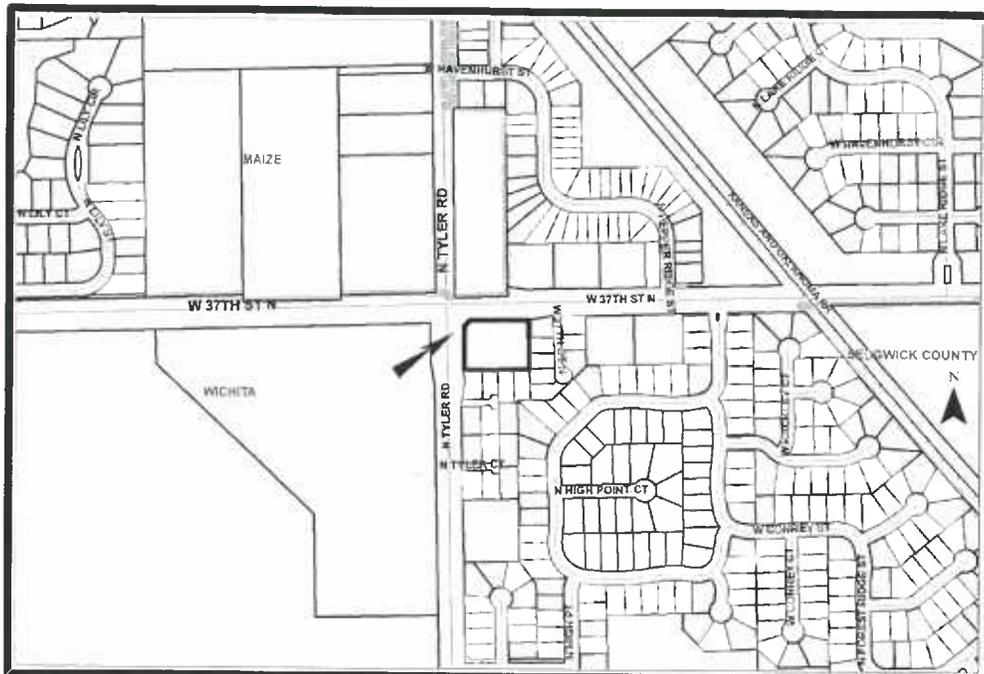
Residential:	6
Office:	
Commercial:	
Industrial:	
Total:	6

MINIMUM LOT AREA: 7,276 square feet

CURRENT ZONING: Limited Commercial (LC)

PROPOSED ZONING: Same

VICINITY MAP



SUB2016-00020 -- One-Step Final Plat of TYLER'S LANDING 6TH ADDITION
June 23, 2016 - Page 2

NOTE: This is a replat of Lot 14, Block A Tyler's Landing 5th Addition. An amendment to the Tyler's Landing Commercial Plaza Community Unit Plan (CUP2014-13, DP-267) was approved to allow residential uses.

The Subdivision Committee may recommend a modification of the design criteria in Article 7 of the Subdivision Regulations only if it finds that the strict application of the design criteria will create an unwarranted hardship, the proposed modification is in harmony with the intended purpose of the Subdivision Regulations and the public safety and welfare will be protected.

STAFF COMMENTS:

- A. City of Wichita Public Works and Utilities Department requests a petition for extension of sewer (laterals) and water (distribution).
- B. If improvements are guaranteed by petition(s), a notarized certificate listing the petition(s) along with the corresponding dollar amounts shall be submitted to the Planning Department for recording.
- C. City Stormwater Management has approved the drainage plan.
- D. The plat's text shall include language that "No signs, light poles, private drainage systems, masonry trash enclosures or other structures shall be located within public utility easements."
- E. Traffic Engineering has approved the access controls. The plat proposes complete access control along Tyler Road and a rights-in/out private street opening along 37th Street North.
- F. City Fire Department has approved the turnaround.
- G. The applicant shall guarantee the paving of the private street (Reserve A) to a public street paving standard as required by City Public Works. As private improvements, such guarantee shall not be provided through the use of a petition.
- H. A restrictive covenant shall be submitted regarding the private street, which sets forth ownership and maintenance responsibilities.
- I. Provisions shall be made for ownership and maintenance of the proposed reserves. The applicant shall either form a lot owners' association prior to recording the plat or shall submit a restrictive covenant stating when the association will be formed, when the reserves will be deeded to the association and who is to own and maintain the reserves prior to the association taking over those responsibilities.
- J. For those reserves being platted for drainage purposes, the required covenant that provides for ownership and maintenance of the reserves, shall grant to the appropriate governing body the authority to maintain the drainage reserves in the event the owner(s) fail to do so. The covenant shall provide for the cost of such maintenance to be charged back to the owner(s) by the governing body.
- K. A CUP Certificate shall be submitted to MAPD prior to City Council consideration, identifying the approved CUP and its special conditions for development on this property.

SUB2016-00020 -- One-Step Final Plat of TYLER'S LANDING 6TH ADDITION
June 23, 2016 - Page 3

- L. GIS has approved the street name.
- M. County Surveying advises that on the mortgage holder consent for Legacy Bank the plat name needs changed from Tyler's Landing 5th to Tyler's Landing 6th.
- N. The Applicant is reminded that a platting binder is required with the final plat. Approval of this plat will be subject to submittal of this binder and any relevant conditions found by such a review.
- O. City Environmental Health Division advises that any wells installed on the property for irrigation purposes will have to be properly permitted, installed and inspected.
- P. County Surveying and MAPD requests review of a pdf prior to mylar submittal. Send to tricia.robello@sedgwick.gov and nstrahl@wichita.gov.
- Q. The Applicant is reminded that a platting binder is required with the final plat. Approval of this plat will be subject to submittal of this binder and any relevant conditions found by such a review.
- R. The applicant shall install or guarantee the installation of all utilities and facilities that are applicable and described in Article 8 of the MAPC Subdivision Regulations. (Water service and fire hydrants required by Article 8 for fire protection shall be as per the direction and approval of the Chief of the Fire Department.)
- S. The Register of Deeds requires all names to be printed beneath the signatures on the plat and any associated documents.
- T. Prior to development of the plat, the applicant is advised to meet with the United States Postal Service Growth Management Coordinator (Phone: 316-946-4556) in order to receive mail delivery without delay, avoid unnecessary expense and determine the type of delivery and the tentative mailbox locations.
- U. The applicant is advised that various State and Federal requirements (specifically but not limited to the Army Corps of Engineers, Kanopolis Project Office, Route 1, Box 317, Valley Center, KS 67147) for the control of soil and wind erosion and the protection of wetlands may impact how this site can be developed. It is the applicant's responsibility to contact all appropriate agencies to determine any such requirements.
- V. The owner of the subdivision should note that any construction that results in earthwork activities that will disturb one acre or more of ground cover requires a Federal/State National Pollutant Discharge Elimination System Stormwater Discharge Permit from the Kansas Department of Health and Environment in Topeka. Also, for projects located within the City of Wichita, erosion and sediment control devices must be used on ALL projects. For projects outside of the City of Wichita, but within the Wichita metropolitan area, the owner should contact the appropriate governmental jurisdiction concerning erosion and sediment control device requirements.
- W. Perimeter closure computations shall be submitted with the final plat tracing.

SUB2016-00020 -- One-Step Final Plat of TYLER'S LANDING 6TH ADDITION
June 23, 2016 - Page 4

- X. The applicant should check City or County GIS mapping to determine whether the location of any taxing district boundaries (e.g. school districts) crosses their property and plan accordingly to avoid unnecessary splitting of lots between taxing districts.
- Y. Any removal or relocation of existing equipment of utility companies will be at the applicant's expense.
- Z. A compact disk (CD) should be provided, which will be used by the City and County GIS Departments, detailing the final plat in digital format in AutoCAD. Please include the name of the plat on the disk. If a disk is not provided, please send the information via e-mail to Kathy Wilson (e-mail address: kwilson@wichita.gov).

STAFF REPORT
(One-Step Final Plat)

CASE NUMBER: SUB2016-00019 – FAWN GROVE ADDITION

OWNER/APPLICANT: Clint Miller Construction, 1907 South Hydraulic Street, Wichita, KS 67211-4557

SURVEYOR/AGENT: Ruggles & Bohm, P.A., 924 North Main, Wichita, KS 67203

LOCATION: South of Kellogg, West of South Greenwich Road (District II)

SITE SIZE: 3.28 acres

NUMBER OF LOTS

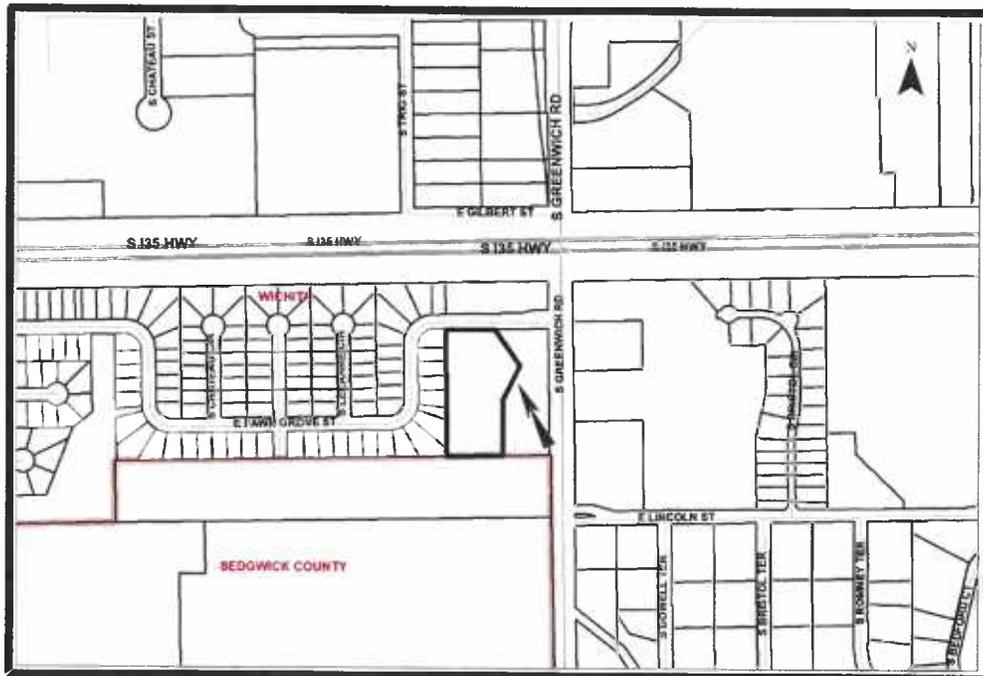
Residential:	11
Office:	
Commercial:	
Industrial:	
Total:	11

MINIMUM LOT AREA: 4,226 square feet

CURRENT ZONING: General Office (GO)

PROPOSED ZONING: Same

VICINITY MAP



SUB2016-00019 -- One-Step Final Plat of FAWN GROVE ADDITION
June 23, 2016 - Page 2

NOTE: This is a replat of Lot 1, Block 1, Fawn Grove at Sunset Lakes Addition. The applicant proposes duplexes and triplexes (23 total units) on property zoned General Office (GO).

The Subdivision Committee may recommend a modification of the design criteria in Article 7 of the Subdivision Regulations only if it finds that the strict application of the design criteria will create an unwarranted hardship, the proposed modification is in harmony with the intended purpose of the Subdivision Regulations and the public safety and welfare will be protected.

STAFF COMMENTS:

- A. City of Wichita Public Works and Utilities Department requests a petition for extension of sewer (laterals) and water (distribution). In-lieu-of-assessment fees are due on water (transmission). Water meters will set in the east easement. Developer will be responsible for boring service lines under the street.
- B. The wall easement shall be referenced in the plat's text.
- C. The plat's text shall include language that the drainage and utility easement is hereby granted as indicated for drainage purposes and for the construction and maintenance of all public utilities.
- D. The plat's text shall include language that the street, sidewalk, drainage and utility easement is hereby granted as indicated for street, sidewalk and drainage purposes and for the construction and maintenance of all public utilities.
- E. If improvements are guaranteed by petition(s), a notarized certificate listing the petition(s) along with the corresponding dollar amounts shall be submitted to the Planning Department for recording.
- F. City Stormwater Management has approved the drainage plan.
- G. The standard floodplain language is needed in the plat's text: "FEMA floodplain and regulatory floodway boundaries are subject to periodic change and such change may affect the intended land use within the subdivision."
- H. A solid bold line is needed for the entire east property line of Lot 8, Block 1.
- I. Due to the platting of a 32-foot residential street in a commercial zoning district, a restrictive covenant is needed limiting the site to residential uses.
- J. The applicant shall guarantee the paving of the proposed street. The Subdivision Regulations limit cul-de-sac streets to 24 units accessed by a 32-foot narrow local residential street and this 23-unit plat complies.
- K. Provisions shall be made for ownership and maintenance of the proposed reserves. The applicant shall either form a lot owners' association prior to recording the plat or shall submit a restrictive covenant stating when the association will be formed, when the reserves will be deeded to the association and who is to own and maintain the reserves prior to the association taking over those responsibilities.

SUB2016-00019 -- One-Step Final Plat of FAWN GROVE ADDITION
June 23, 2016 - Page 3

- L. For those reserves being platted for drainage purposes, the required covenant that provides for ownership and maintenance of the reserves, shall grant to the appropriate governing body the authority to maintain the drainage reserves in the event the owner(s) fail to do so. The covenant shall provide for the cost of such maintenance to be charged back to the owner(s) by the governing body.
- M. City Fire Department has approved the turnaround.
- N. Since this plat proposes the platting of narrow street right-of-way with adjacent 15-foot street, drainage and utility easements, a restrictive covenant shall be submitted which calls out restrictions for lot-owner use of these easements. Retaining walls and change of grade shall be prohibited within these easements as well as fences, earth berms and mass plantings.
- O. The blocks need to be renumbered, as the perimeter of the blocks should be bounded by streets. The Minimum building pad table also needs to reference the correct block number.
- P. "Lots, a Block, a Reserve and a Street" shall be referenced in the platting text.
- Q. The Applicant is reminded that a platting binder is required with the final plat. Approval of this plat will be subject to submittal of this binder and any relevant conditions found by such a review.
- R. The bold line at the north line of the internal street needs deleted.
- S. GIS has approved the street name of Deer Haven.
- T. County Surveying advises the 20-foot drainage and utility easement line along the south line of Lot 1, Block 2 should be trimmed at the 15-foot street, drainage, sidewalk and utility easement.
- U. County Surveying advises a dimension needs added on the most northerly west line of Lot 1, Block 2.
- V. County Surveying advises the benchmark description should include the plat name Fawn Grove at Sunset Lakes.
- W. County Surveying advises the road right-of-way width for Fawn Grove needs shown on the final plat.
- X. County Surveying advises the Section, Township and Range needs noted on the final plat.
- Y. City Environmental Health Division advises that any wells installed on the property for irrigation purposes will have to be properly permitted, installed and inspected.
- Z. County Surveying and MAPD requests review of a pdf prior to mylar submittal. Send to tricia.robello@sedgwick.gov and nstrahl@wichita.gov.
- AA. The applicant shall install or guarantee the installation of all utilities and facilities that are applicable and described in Article 8 of the MAPC Subdivision Regulations. (Water service and fire hydrants required by Article 8 for fire protection shall be as per the direction and approval of the Chief of the Fire Department.)

SUB2016-00019 -- One-Step Final Plat of FAWN GROVE ADDITION
June 23, 2016 - Page 4

- BB. The Register of Deeds requires all names to be printed beneath the signatures on the plat and any associated documents.
- CC. Prior to development of the plat, the applicant is advised to meet with the United States Postal Service Growth Management Coordinator (Phone: 316-946-4556) in order to receive mail delivery without delay, avoid unnecessary expense and determine the type of delivery and the tentative mailbox locations.
- DD. The applicant is advised that various State and Federal requirements (specifically but not limited to the Army Corps of Engineers, Kanopolis Project Office, Route 1, Box 317, Valley Center, KS 67147) for the control of soil and wind erosion and the protection of wetlands may impact how this site can be developed. It is the applicant's responsibility to contact all appropriate agencies to determine any such requirements.
- EE. The owner of the subdivision should note that any construction that results in earthwork activities that will disturb one acre or more of ground cover requires a Federal/State National Pollutant Discharge Elimination System Stormwater Discharge Permit from the Kansas Department of Health and Environment in Topeka. Also, for projects located within the City of Wichita, erosion and sediment control devices must be used on ALL projects. For projects outside of the City of Wichita, but within the Wichita metropolitan area, the owner should contact the appropriate governmental jurisdiction concerning erosion and sediment control device requirements.
- FF. Perimeter closure computations shall be submitted with the final plat tracing.
- GG. The applicant should check City or County GIS mapping to determine whether the location of any taxing district boundaries (e.g. school districts) crosses their property and plan accordingly to avoid unnecessary splitting of lots between taxing districts.
- HH. Any removal or relocation of existing equipment of utility companies will be at the applicant's expense.
- II. A compact disk (CD) should be provided, which will be used by the City and County GIS Departments, detailing the final plat in digital format in AutoCAD. Please include the name of the plat on the disk. If a disk is not provided, please send the information via e-mail to Kathy Wilson (e-mail address: kwilson@wichita.gov).